



The Town Planner
Shire of Coolgardie

planning@coolgardie.wa.gov.au

PROJECT :	<u>Widgiemooltha Accomodation</u> and field office / storage Units
PROPERTY :	Torque Metals Ltd.
LOCATION :	Lot 2 (No 54) Kingswood St, Widgiemooltha

Lot No. 2	House/Street No. 54	Location No. 1244463
Diagram or Plan No D049519 2	Certificate of Title Vol No 1438/621	Folio
Title encumbrances (e.g. easements, restrictive covenants) None		
Street Name Kingswood Street, Widgiemooltha WA 6443		



3 March 2023

Francesca Lefante

Planning Consultant

Shire of Coolgardie

Francesca Lefante <Planning@coolgardie.wa.gove.au>

**RE: Approval sought to set up demountable accommodation and office / storage units
at 54 Kingswood Street, Widgiemooltha**

Torque Metals Ltd is an ASX listed exploration company with two flagship projects in Paris (East of Widgiemooltha Township) and Bullfinch (North of Southern Cross). Like many mining and exploration companies in Western Australia, most of our geological, geochemical, and geophysical exploration activities are in remote areas, away from metropolitan areas and gazetted townsite.

Torque Metals Ltd. has developed this Proposal to setup demountable accommodation and office / store units. The activities included in this proposal involve the establishment of 3 twenty-foot accommodation units and one forty-foot office and store building within the residential land owned by Mr Max Strindberg. The site is located on 54 Kingswood St., Widgiemooltha, Western Australia. Extract of Certificate of Title is shown below.

The purpose is to accommodate 3-4 Torque Metals Ltd. personnel. The proposed works includes a septic system and leach drains, and a recreational area. Torque Metals Ltd. believes that the proposed works are low impact with no adverse consequences to the environment and people who reside in Widgiemooltha. There will be no storage of dangerous goods in the proposed store which will only be used for exploration consumable inventories.

We have been providing accommodation and catering to our employees and contractors at the Widgiemooltha Tavern which has experienced excessive demand and has been constantly booked, so much so that we had to travel from Kalgoorlie to our exploration ground, an additional 300kms, or 3 hours of avoidable travelling time every day. This is not a favourable working condition.

Availability of safe and comfortable accommodation has always been paramount to Torque Metals Ltd. We have looked at all available options to us regarding the accommodation bottleneck and resolved and to establish our own accommodation facility, fully owned, controlled, and maintained by us. To this end, Torque Metals Ltd. Is in the process of leasing a 1000 sq m land at Lot 2 (No 54) Kingswood St., Widgiemooltha, WA 6443, as a stop gap solution while exploring possibilities of acquiring crown (lease or free hold) land in Widgiemooltha Townsite as a permanent solution. Hence, this Development Application.

Our exploration area, including Paris and HHH Mines, is located 40-75km to the east of Widgiemooltha Townsite, outside any metropolitan area or a gazetted townsite, and our employees cannot be provided with safe and secure accommodation for the duration of our project which at current Corporate Exploration Strategy amount to 180-200 days of the year spread into 4- distinct phases of exploration activities.

There is no other accommodation available in the area within a reasonable travelling distance. There are established mines such as Lanfranchie and Baldhill but our request to accommodate our workers and contractors with them hasn't been successful as their own accommodation needs are not fully met.

It is obvious there is an accommodation crisis in the area. The unavailability of sufficient and predictable accommodation at Widgiemooltha Tavern, the nearest and most logical staging post for our operations, has been of concern to us in terms of scheduling our exploration activities. Often, we had to vacate ensuite rooms to much inferior accommodation due to intermittent booking by the owners, making it unavailable for the duration of our program.

We understand there is an ongoing effort by the Shire of Coolgardie. Even if the Shire of Coolgardie approved camp development was ready and available for occupation, the distance between such a facility and our project area will add nearly 200 kms, or 3 hours of travelling time per day, resulting in less productivity and inefficiency in our exploration activities.

Torque Metals Ltd. is hereby applying to the Shire of Coolgardie to install 3 single accommodation and an ancillary office / sample storage custom built units. Torque Metals Ltd., as a responsible and ethical employer plans to provide its employees and contractors with safe, secure, and comfortable accommodation. While our employees and contractors have a duty of care to ensure their own safety and health at any of the premises we accommodate them, Torque Metals Ltd. has made sure that these premises do not expose employees and contractors to hazards and will continue to abide by the same principles while setting up these accommodation unit. Torque Metals Ltd. will abide by the Mines Safety and Inspection Act 1994 in the installation of accommodation units at Widgiemooltha Townsite.

Torque Metals Ltd. believes that it has presented a strong case for this approval and hopes an expedited response from the Shire of Coolgardie.

Should you have any questions or require further information, please contact me on 0459462377 or via email mambo@torquemetals.com.

Yours sincerely





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4. Project Summary

The project will involve the installation of 4 custom-built demountable buildings to be used for accommodation, field office and storage. Three of these 20-foot accommodation units are brand new while the 40-foot office / store will be relocated from Madoonia Downs Station. The development of a permanent the site is subject to a separate proposal **REQUESTING COMMENTS** from the Shire of Coolgardie for the purpose of acquiring lease or freehold land from the Crown at No.32 Kingswood Street, Widgiemooltha.

Access to the site is via Coolgardie – Norseman Highway and Kingswood Street, Widgiemooltha. Additional tracks will not be utilised. We will not require widening or realigning to meet construction safety or delivery standards. All activities associated with this proposal will be conducted in accordance with Torque Metals’ safety and environmental standards.

5. Ownership

The proposed site lies on a leased portion of private property owned By Mr. Max Strindberg (the lessor). Activities associated with this proposal is an agreement between Torque Metals Ltd. (the lessee) and Mr. Max Strindberg.

6. Location, Land use and layout

The project site is located approximately 45km from Kambalda, in the Widgiemooltha Townsite. The site is located on a leased portion of private property. No reserves or proposed reserves occur within the location. The proposed accommodation site is planned for 3-4 staff and contractors of Torque Metals Ltd. The location of the site and the surrounding land uses are shown on Figure 4.1. Fig. 4.2. shows an aerial photo of Widgiemooltha and the proposed site.

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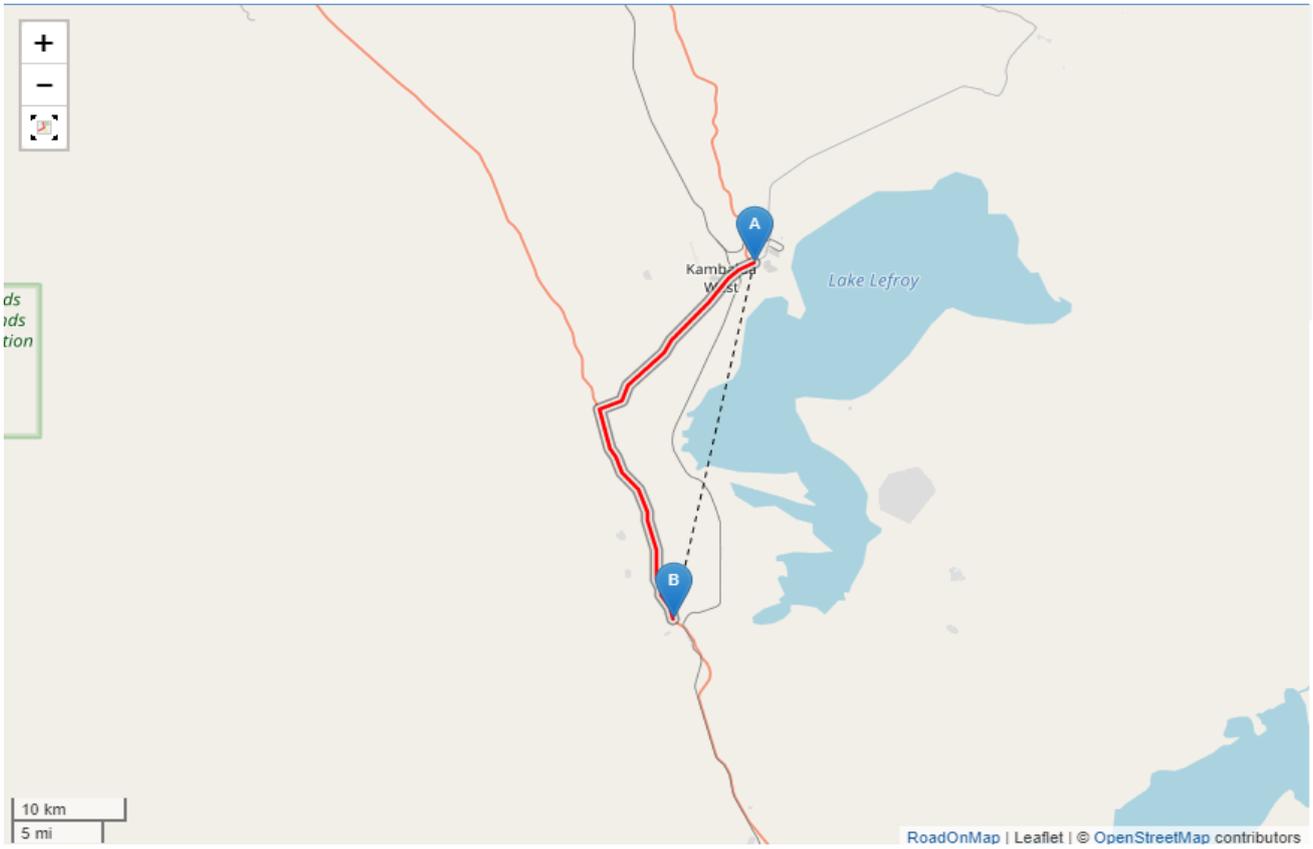


Fig. 6.1. Location map of Widgiemooltha and Kambalda



Fig. 6.2 Aerial photo of Widgiemooltha and the red rectangle proposed development site circled blue

7. Climate and Hydrology

Drainage in Widgiemooltha Townsite area is a minor feature, consisting mainly of play salt lakes and internal drainage between sand dunes. Evaporation within the region greatly exceeds rainfall. No drainage features occur within the proposed site or its immediate surrounds.

The climate is arid with summer and winter rainfall averaging 150-180mm per annum. A summary of the temperature and rainfall data by Elders is provided in Figures 5.1. below. Most of the rainfall occurs during the summer months generally associated with cyclonic rainfall extending into the interior. This may result in heavy rainfall between January and April.

Widgiemooltha Long-Term Averages

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Ann
Mean Max (°C)	32.6	31.6	28.8	25.4	21.0	18.0	17.3	19.2	22.4	25.9	28.6	31.5	25.2
Mean Min (°C)	15.8	16.0	14.2	11.1	7.0	4.9	4.1	4.5	6.4	9.6	12.1	14.0	10.0
Mean Rain (mm)	32.1	26.5	30.1	24.5	18.5	19.0	21.5	23.4	17.0	22.7	27.0	19.6	284.1
Mean Rain Days	5.2	5.0	5.8	6.5	7.1	8.6	10.5	10.3	7.0	6.6	6.8	4.2	83.9

Fig 7.1. Widgiemooltha Temperature and rainfall data, Elders Weather website

Temperature extremes are also experienced in the region with the highest maximum being 43.5o degrees and lowest minima of 1.7 degrees. Data from Meat and Livestock Australia is shown in Fig 5.2. below

Max temp history		
Hottest Ever This Month	43.5°	05/03/2008
Hottest This Year	42.4°	21/02/2023
Hottest This Month	28.5°	01/03/2023
Long Term Average	28.8°	
Average This Month	28.5°	
Hottest March On Record	Avg. max. temp. 31.2°	2005
Widgiemooltha maximum temp history (31.4981°S, 121.5825°E, 302m AMSL)		
Min temp history		
Coldest Ever	1.7°	29/03/2007
Coldest This Year	6.5°	24/02/2023
Coldest This Month	15.6°	01/03/2023
Long Term Average	14.2°	
Average This Month	15.6°	
Coldest March On Record	Avg. min. temp. 12.4°	2001
Widgiemooltha minimum temp history (31.4981°S, 121.5825°E, 302m AMSL)		

Fig. 7.2. Maximum and minimum temperature in Widgiemooltha – Meat and Livestock Australia website

8. Social Environment

The proposed site is located some 50 km from Kambalda Town. Although a gazetted and flourishing mining town in its heyday, the population in Widgiemooltha is now between 5-10 residences. There are no known Aboriginal Communities and to our knowledge there is no native title claim currently over the proposed site.

9. Area of Disturbance

The total area of disturbance resulting from this proposal will be less than 1000 square metres. The area of actual disturbance will be even less as the facilities will be located where possible in disturbed areas. There will be no removal of trees. In fact, we endeavour to beautify the site with greenery once the installation work is complete.

10. Proposal Details

Our proposed plan is to install 3x 20-foot custom-built accommodation units and 1x40-foot field office / consumables storage unit. It is designed to accommodate 3-4 persons. Construction personnel while constructing these accommodation / office / storage units will be staying at the Widgiemooltha Tavern. The additional rooms will consist of four buildings, a generator, and an associated septic system. The units will be mounted on precast limestone blocks (fig 8.1 Bevelled Limestone block and fig 8.2. dimensions and weight of limestone blocks) and be held down with either cast in-situ mass concrete footings nominally 1.5m deep or engineered screw piles. The proposed accommodation site will not have an adverse footprint, before, during and after installation of buildings and a septic system. Power is supplied by an ultra-quiet diesel generator.

Each building will be located, wherever possible, in existing cleared areas and minimal earthworks are proposed.



Dimensions			
	 Width	 Height	 Depth
Product	165mm	245mm	500mm
Package	165mm	245mm	500mm
Weight			

(Fig. 10.1 Bevelled Limestone block and Fig 8.2. dimensions and weight of limestone blocks)

10.1. Quality of custom-built accommodation and office / storage units

Our Demountable buildings are:

- new, aesthetically appealing, and well maintained
- separated from noise, heat, dirt, and atmospheric contaminants
- adequately secured to protect the occupants and their belongings
- electrically safe to use and protected by residual current devices where appropriate

- built with hard-wired smoke alarms are installed where practicable
- fitted with portable fire extinguishers that will be well maintained
- safe for people to enter and exit safely, particularly in an emergency
- setup with an emergency evacuation plan that residents will be familiar with
- fitted with facilities for showering, handwashing, and a toilet
- setup with clean, cool drinking water
- **NOT** fitted with cooking and refrigeration facilities
- regularly cleaned
- fitted with appropriate, hygienic areas for recreation
- furnished with sleeping furniture and fittings that are structurally sound and well maintained
- occupants are protected from extremes of heat and cold as air conditioning is fitted to all units
- built with adequate ventilation and lighting.

10.2. Supporting Documentation

In support of our application, we have included the following diagrams, sketches, and photos.

10.2.1. Completed Development Application Form

10.2.2. site plan with setbacks, orientation of prefabricated suites, and location of various

10.2.3. Specification of custom-built units with detailed technical and elevation data

10.2.4. Detailed floor plan and electrical layout of custom-built units

10.2.5. Footing Layout of custom-built units

10.2.6. Actual photo of custom built 20ft accommodation unit before painting and veranda cover

10.2.7. Actual photo of custom built 40ft office / store unit before painting and veranda cover

10.2.8. Perspective view A1 of portable accommodation units with veranda cover

10.2.9. Perspective view A2 of portable accommodation units with veranda cover

10.2.10. 1:250 scale Front view of portable accommodation units with veranda cover

10.2.11. 1:250 scale Rear View of portable accommodation units with veranda cover

DEVELOPMENT APPLICATION FORM

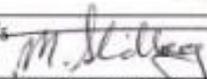
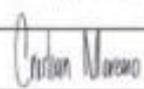
PART A – OWNERS DETAILS			
Name/s ABEH Pty Ltd			
Director/s (if applicable) Max Strindberg		ABN (if applicable) 18 098 110 233	
Address Post code 20 Wann Court, Upper Swan WA 6069			
Phone (work) 0433 128 977	(home)		(fax)
Email Contact Person abehpl@hotmail.com			
Signature/s  (SOLE DIRECTOR OF ABEH PTY LTD)		Date 23RD January 2023	
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature(s). For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62 (2).</i>			
PART B – APPLICANTS DETAILS (if different from owner)			
Name/s Torque Metals Limited			
Director/s (if applicable) P. Burke, C. Moreno, I. Finch A. Lofthouse		ABN (if applicable) 44 621 122 905	
Postal Address P.O. Box 27, West Perth WA		Postcode 6872	
Phone (work) 0459 462 2377	(home)		(fax)
Email Contact Person mambo@torquemetals.com			
<i>The information and plans provided with this application may be made available by the local government for public viewing in connection with the application.</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Signature/s  		Date 19 January 2023	
PART C – PROPERTY DETAILS			
Lot No. 2	House/Street No. 54	Location No. 1244463	
Diagram or Plan No. D049519 2	Certificate of Title Vol No 1438/621	Folio	
Title encumbrances (e.g. easements, restrictive covenants) None			
Street Name Kingswood Street, Widgiemooltha WA 6443			
<i>*Please attach a full, current copy of the certificate of title and any listed encumbrances for each lot. If the certificate of title is not provided Council will undertake the title search at the applicant's expense (Landgate's nominated search fee – refer to fee schedule overleaf).</i>			

Fig. 10.2.1a. Completed Development Application Form

DEVELOPMENT APPLICATION FORM

PART D – PROPOSED DEVELOPMENT DETAILS			
Nature of Development <i>Accommodation and field office/store</i>	<input checked="" type="checkbox"/> Works	<input type="checkbox"/> Use	<input type="checkbox"/> Works and Use
Is an exemption from development claimed for part of the development?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
If yes, is the exemption for	<input type="checkbox"/> Works	<input type="checkbox"/> Use	<input type="checkbox"/> Works and Use
Description of exemption claimed (if relevant):			
Proposed works and / or land use: <i>Three 20 foot custom-built accommodation units and one forty foot office/store unit</i>			
<input checked="" type="checkbox"/> - Single Dwelling	<input checked="" type="checkbox"/> - Outbuilding	<input type="checkbox"/> - Change of Use	<input type="checkbox"/> - Commercial Premises
<input type="checkbox"/> - Grouped Dwelling	<input type="checkbox"/> - Industrial Premises	<input type="checkbox"/> - Home Occupation	<input type="checkbox"/> -Holiday Accommodation <input type="checkbox"/> with an existing pool/spa
<input type="checkbox"/> - R-Codes Variation		<input type="checkbox"/> - Other	
Description: <i>Custom built, demountable units with proposed veranda shade and painted as per application.</i>			
Nature of any existing building and/or land use <i>Non on the land to be leased</i>			
Approximate cost of proposed development: <i>\$150,000.00</i>			
Estimated time of completion: <i>April - May 2023</i>			
PART E – FEES			
The Planning Application Fees are based on the <i>Planning and Development (Local Government Planning) Regulations</i> .			
The Shire of Coolgardie annually reviews these fees as part of adopted the Budget. Information on the fees can be obtained via the Coolgardie website of contacting Shire Development Services Officer.			
<small>NOTE: This form should be completed and forwarded to the Shire of Coolgardie, PO Box 138 Kambalda WA 6442 or via e-mail to mail@coolgardie.wa.gov.au together with copies of plans showing complete details of the development including a site plan showing the relationship of the land to the area generally. In areas where close development exists, plans may be required to show the siting of buildings and uses on lots immediately adjoining the subject land.</small>			

OFFICE USE			
Assessment Number		Fees Paid	
Acceptance Officers Name		Receipt Number	
Application Reference No		Date Received	

Fig. 10.2.1b. Completed Development Application Form

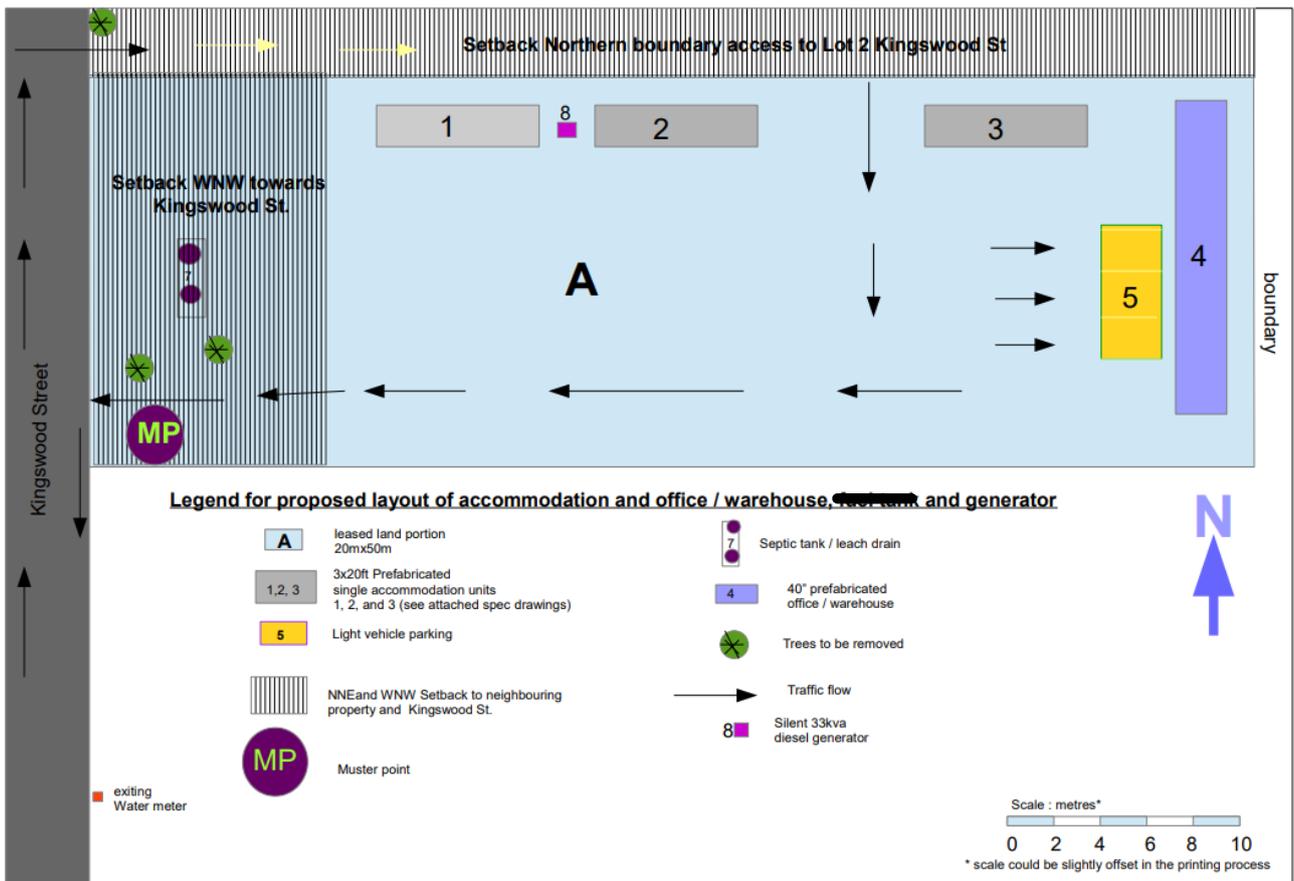


Fig. 10.2.2. Site plan detailing setbacks, orientation of prefabricated suites, location of sewer system, generator, emergency management and traffic flow

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TECHNICAL DATA	SNOW LOAD	40 kg/m ²
	WIND SPEED	102kph
	EXTERNAL WALL HEAT TRANSMISSION COEFFICIENT	K: 0.26Kcal/m ² hC
	INTERNAL WALL HEAT TRANSMISSION COEFFICIENT	K: 0.26Kcal/m ² hC
	ROOF HEAT TRANSMISSION COEFFICIENT	K: 0.68Kcal/m ² hC
	FLOOR HEAT TRANSMISSION COEFFICIENT	K: 3.85Kcal/m ² hC
	BASE/CHASSIS LOAD CAPACITY	200kg/m ²
WALL	EXTERNAL WALL HEIGHT	2600mm
	INTERNAL CLEAR HEIGHT	2320mm/2400mm
	OUTER SURFACE COVERING	INNER & OUTER SURFACE: 0.45mm COILPAINTED RAL9002 SURFMIST GALVANISED SHEETS INTERNAL: 40mm EPS INSULATION FOAM
	WALL PANELS	50mm SANDWICH PANEL. INNER & OUTER SURFACE: 0.45mm COILPAINTED RAL9002 SURFMIST GALVANISED SHEETS INTERNAL: 40mm EPS INSULATION FOAM
FLOOR	CONSTRUCTION	100*58/50 U/C 1.5/2mm. Galvanised DX51+Z C/ U SECTIONED COLD FORMED PROFILES
	COVERING	VIYNL COVERED 16mm THICK FIBER CEMENT (NON-COMBUSTIBLE)
CEILING	CONSTRUCTION	CORRUGATED SANDWICH PANEL 50mm/75mm
	GUTTERING	WATER RUN OFFS ON ALL CORNERS OVERFLOWS ON FRONT & REAR
DOORS	EXTERNAL SLIDING	ALUMINIUM 2000mm*1960mm DOUBLE GLAZED
	INTERNAL SLIDING	DEPENDANT ON PLAN
	EXTERNAL SWING	INSULATED 935mm*1980mm SHEET METAL
WINDOWS	EXTERNAL STANDARD WINDOW (KA- RANGE)	ALUMINIUM 970mm*1200mm DOUBLE GLAZED PUSH LOCK
ELECTRICAL	DETAILS	COMPLETED BY LICENSED CONTRACTORS
	STANDARD INCLUSIONS	3 x D/GPOS. SWB. 15AMP IP INLET. EXTERNAL BUNKER LIGHT. INTERNAL BULB FIXTURES OR OPTIONAL LED 40W BATTENS.
LIFTING INFO	WEIGHT	STANDARD KA-1: 1180KG
	LIFT POINTS	4 x DEDICATED REMOVABLE LIFT POINTS (NOT SUITABLE FOR TILT TRAY).

Fig. 10.2.3. Specification of custom-built units with detailed technical data, wall-floor-ceiling- window construction with Height-Width-Length design measurements and electrical design

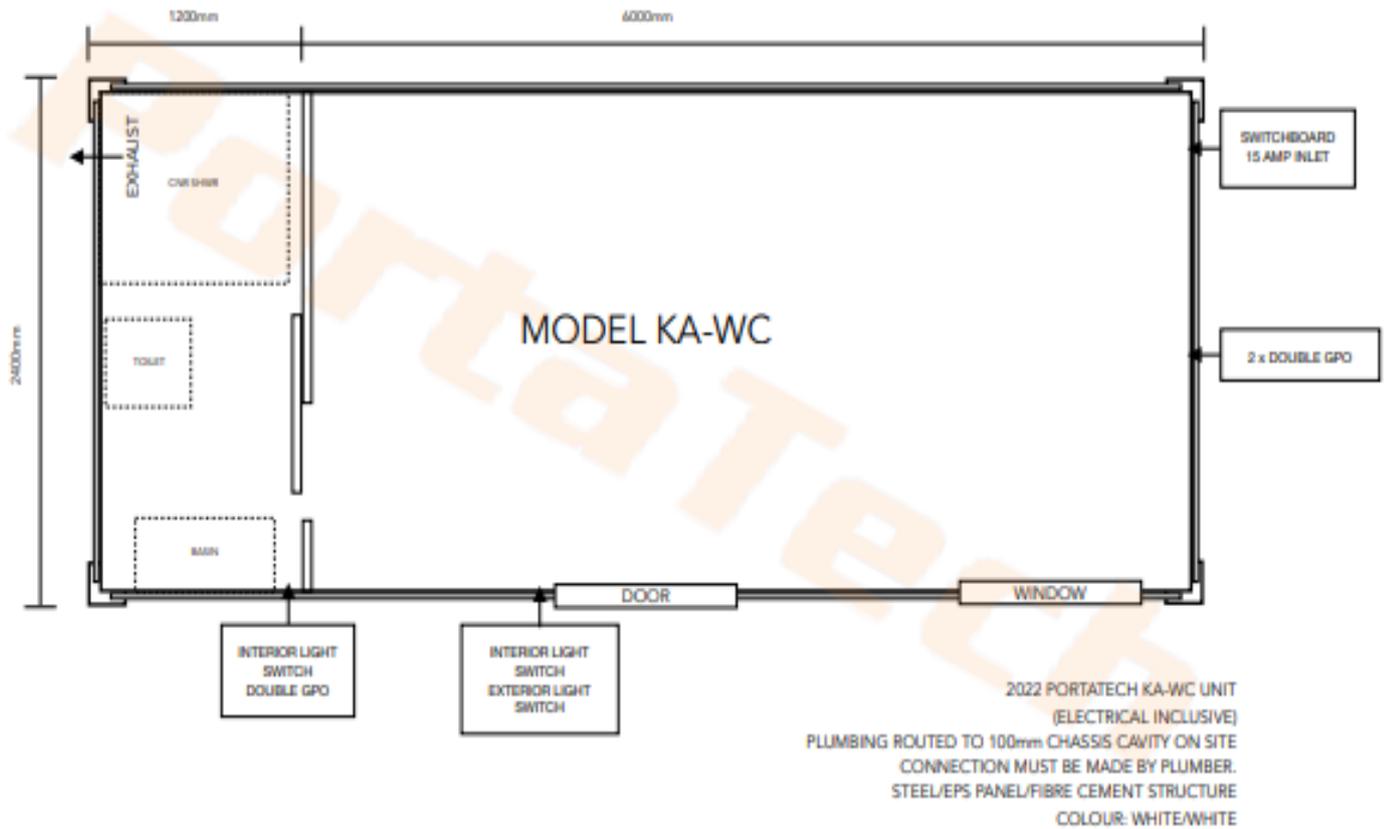


Fig. 10.2.4. Detailed floor plan of accommodation units including plumbing and electrical layout

FOOTING LAYOUT KA- RANGE

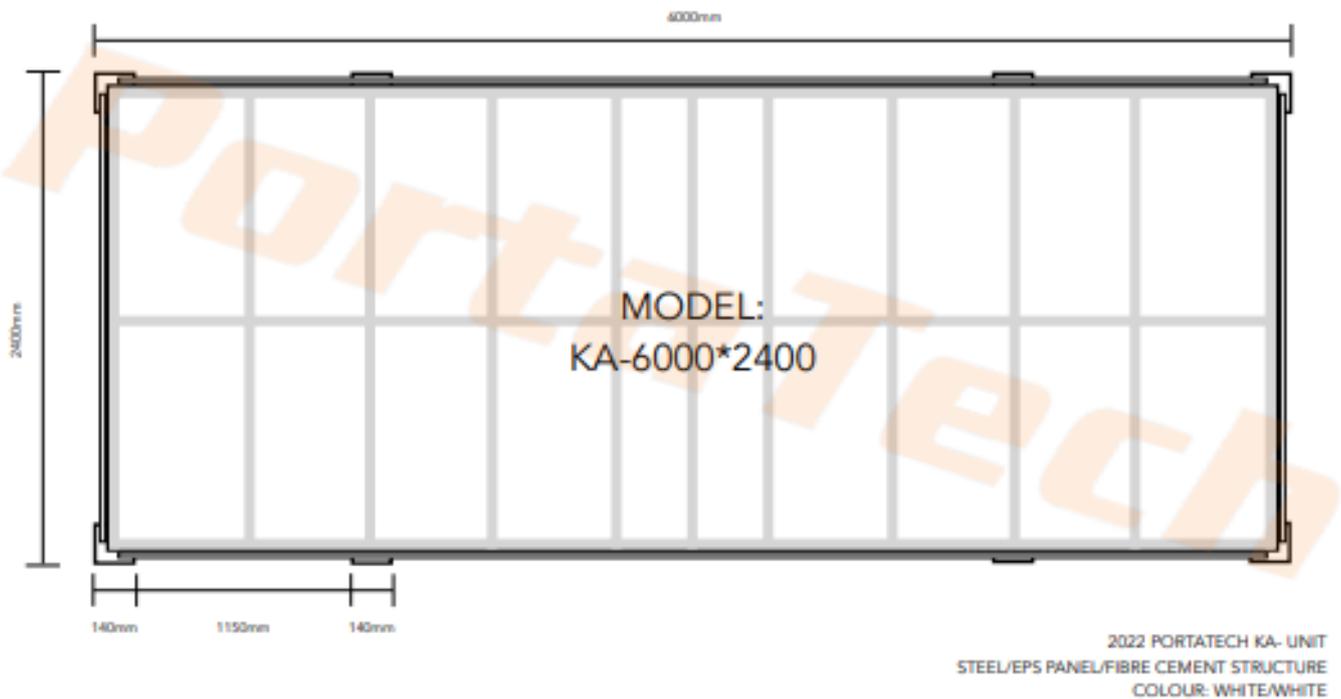


Fig. 10.2.5. Footings layout of accommodation units



Fig. 10.2.6. Actual photo of custom built 20ft accommodation unit before painting and veranda cover

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Fig. 10.2.7. Actual photo of custom built 40ft office / store unit before painting and veranda cover

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(A1) PERSPECTIVE VIEW

Fig. 10.2.8. Perspective view A1 of portable accommodation units with veranda cover (enlarged view attached from page 21)



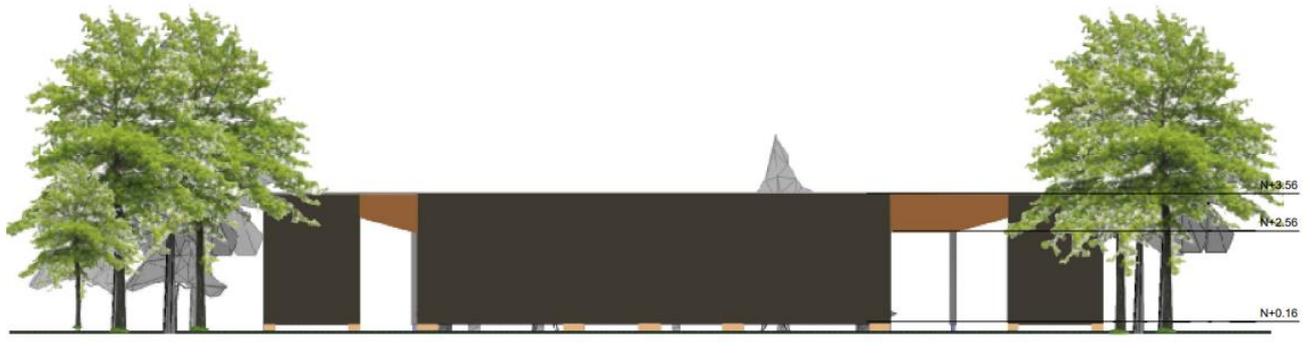
(A1) PERSPECTIVE VIEW

Fig. 10.2.9. Perspective view A2 of portable accommodation units with veranda cover (enlarged view attached from page 21)



(A1) FRONT VIEW
ESC: 1:250

Fig. 10.2.10. Front view of units with veranda cover (enlarged view attached from page 21)



(A1) REAR VIEW
ESC: 1:250

Fig.10.2.11. Rear view of units with veranda cover (enlarged view attached from page 21)

11. Infrastructure works and services

Concrete footpaths approximately 1.2m wide will be constructed linking the four buildings. Services such as pipelines, power and communication cables will be buried in trenches approximately 0.5m wide adjacent to the footpaths to minimise clearing.

12. Proposed Septic System

A septic system servicing the proposed new accommodation units will be designed and installed in accordance with Health Department Regulations and Shire requirements and will comprise a septic tank and leach drain

system suitable for this purpose. The septic system will be located at least 15m from the accommodation units. The orientation and position of the leach drains are shown in Fig. 10.1 below. To reduce the load on the sewage facilities, all laundry will be done at the Widgiemooltha Tavern rather than being undertaken on site.

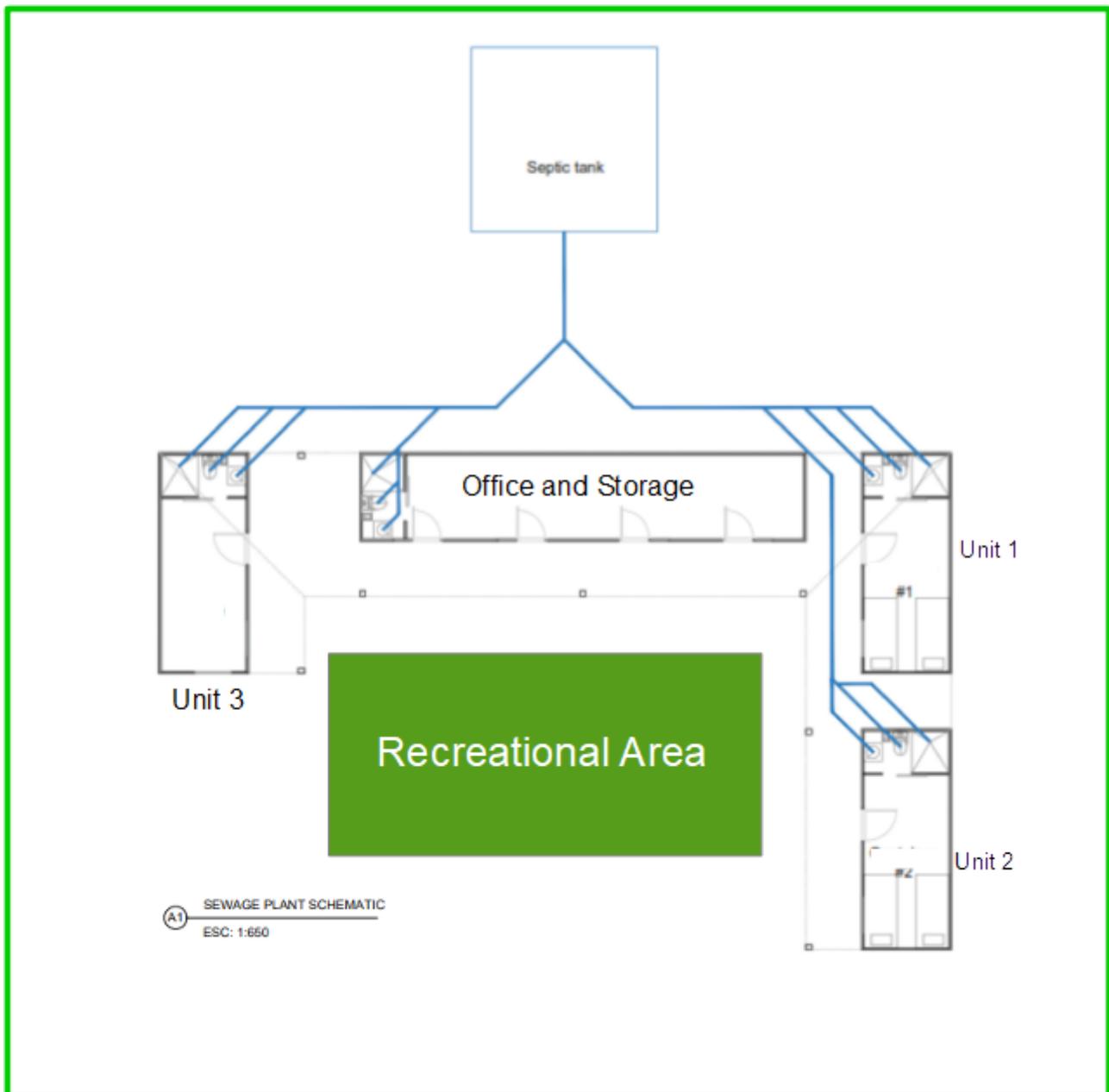


Fig. 12.1. Sewage collection and septic tank schematic (enlarged view attached from page 21)

13. Site access

There is little existing infrastructure within the region. Access to the proposed site will be via existing Kingswood Street that comes off the Coolgardie – Norseman Highway at the Widgiemooltha Townsite.

14. Resource requirement, local / regional infrastructure, and workforce requirement

The workforce required to install the demountable buildings, connect the generator to pre-wired units and install the septic system will be minimal (3-5 people) and will be accommodated and catered at the Widgiemooltha Tavern during the installation of the proposed units.

15. Compliance with Legislation and Other Approvals

The proposed development will occur in accordance with the by-laws of the local government and the following legislations and approvals as well as the existing tenement conditions and Torque Metals' internal policies and procedures.

- Environmental Protection Act 1986
- Wildlife Conservation Act 1950
- Mining Act WA 1978
- Aboriginal Heritage Act 1972
- Occupational Health and Safety Act 1984

16. Management of Environmental and social impacts

The proposed accommodation / office /storage apace has been designed to minimise impacts on any environmentally sensitive areas and to minimise clearing on other key environmental values such as Priority flora populations and Priority ecological communities. Torque Metals' environmental policy also ensures the effective management of all health, safety, environment, community, and operational issues associated with the whole of operations which establishes the framework and standards that must be achieved for all activities associated with both **IN EXPLORATION AND OUT OF EXPLORATION** activities and includes the development and management of policies, management strategies, procedures, and reporting requirements.

16.1. Land Clearing

Potential impacts of this project are anticipated to be minimal as most of the proposed facilities are located within areas already void of vegetation, no threatened flora, fauna or ecological communities are known to occur, and no heritage sites have been recorded.

The proposed development and associated infrastructure will require a total footprint of approximately 1000sqm. It should however be noted that all the proposed new facilities will be located within areas already void of vegetation and therefore the actual area of vegetation to be cleared will be negligible. Fig. 14.1. below shows a Photo of parts of the leaded ground for the proposed development.

16.2. Dust

The generation of dust from construction, earthworks and increased traffic movements within this project is too small and the potential to impact on ambient air quality and adjacent vegetation by smothering the leaf surfaces, reducing photosynthesis, and potentially reducing the plants' ability to cope with stress from drought or attack from insects or other pathogens is negligible. During and after the construction, the ground will be sprayed with water to supress dust.

16.3. Groundwater

Potential for groundwater contamination from the leach drains associated with the septic system will be insignificant due to the low occupancy and number of residents in these accommodation units.



Fig 14.1. Partial photo of the proposed site showing existing vegetation with Kingswood Street in the background

16.4. Increased generation of waste materials Rehabilitation

Torque Metals Ltd. environmental policy is based on sound environmental principles based on REDUCING OUR IMPACT which means cutting down our consumption of everything, REUSING whenever we can and, RECYCLING our waste to cut down on the amount of waste we throw away to conserve natural resources, landfill space and energy.

16.5. Potential flooding

There are no waterways or catchments in the proposed site to concern us with impacts of flooding. The units will be mounted on precast limestone blocks and be held down with either concrete footings nominally 1.5m deep or engineered screw piles. The higher elevation from the ground will allow waterflow through the crawl space or concrete blocks used to lift the buildings. Given the low rainfall in the area, we believe the elevation is high enough to raise the buildings above any potential flood level.

16.6. Noise abatement

The basis of our noise abatement policy is The Environment Protection Act 2017. It's an offence to make unreasonable noise from a residence. A residential property includes: any land, building or outbuilding used in connection with a residence. We abide by these principles and our custom-built buildings are designed with noise in mind. All three accommodation units have single doors and windows as shown in Fig. 15.5.1. All windows and doors point away from the closest neighbour to the north-west side of the site.

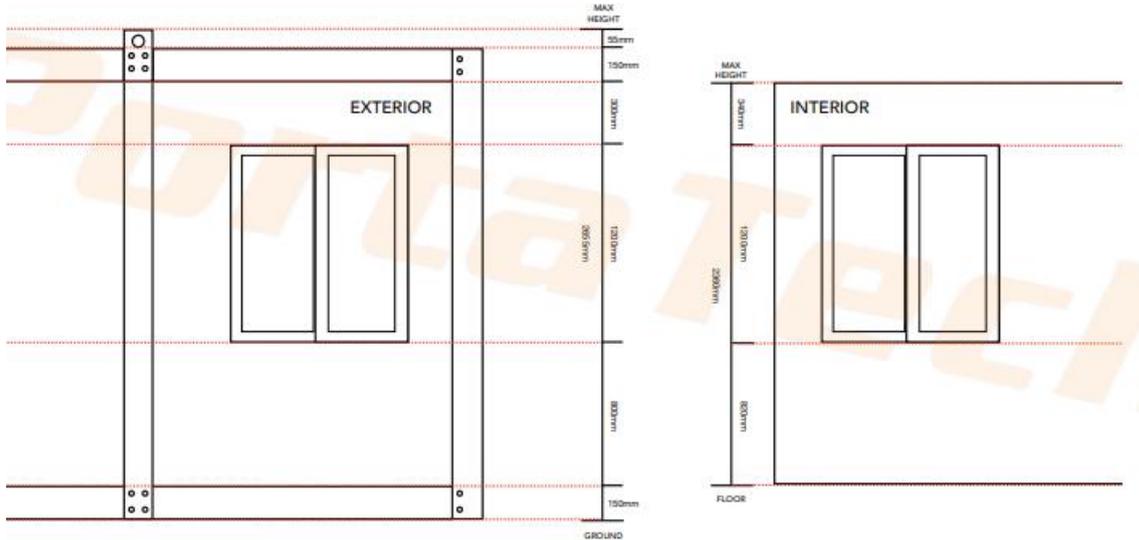


Fig. 16.6.1. Sound-proofed windows installed in accommodation units.

17. Management Objectives

The management objectives of Torque Metals Ltd.:

- Maintain the abundance, diversity, broad scale geographic distribution and productivity of flora, fauna and ecological communities as is, where is, through the control or management of adverse impacts from construction and commissioning activities.
- Ensure compliance with relevant legislation, approvals, conditions, and commitments.
- Ensure that construction activities do not result in adverse effects to people and / or the environment
- Reduce and maintain the quality and quantity of grey water so that existing and potential environmental values are preserved and where possible enhanced
- Ensure reasonable and practical measures are taken to minimise generation of waste and prevent discharge into the environment.
- Ensure no environmentally hazardous substances are kept at the proposed site
- The proposed facility will be built in existing disturbed areas to minimise impacts on remnant vegetation within the site
- Clearing activities will be limited to only the area absolutely necessary

- Large trees remaining within the site will be retained where practical to minimise vegetation clearing and to improve visual quality within the site.
- As the building will be located on elevated foundations, no compaction is expected. As a result, no growth medium will be collected.
- No employee or contractor will be permitted to bring domestic pets into the site, before and after construction
- The feeding of animals, native or feral, will not be permitted within the site
- Surface water pooling will be minimised by effective drainage control within the site to minimise attracting animals
- All rubbish will be appropriately stored and removed from site to be disposed of at a designated waste disposal facility of the Shire of Coolgardie to prevent attracting scavengers and feral animals into the site
- Dust management measures such as water spraying will be considered during the construction phase to reduce dust impacting on the existing neighbours and adjacent vegetation
- There will be no storage of hydrocarbon and other potentially contaminating materials on site
- We will develop and implement a waste management procedure that manages waste in accordance with the waste hierarchy: avoidance, reuse, recycling, recovery of energy, treatment, containment, and disposal. All waste will be collected and taken offsite for disposal at a registered location of the Shire of Coolgardie tip or the
- On completion of the installation, all camp laundering will be undertaken off-site to reduce the load on the sewage system.
- The existing Torque Metals Emergency Response Plan will apply to this proposed site
- Existing Torque's policies for managing cigarette butts and litter to reduce the risk of fire will apply to this proposed site

18. Closure

The lessor and the lessee have agreed on a closure plan that will adapt leading practices from other comparable sites, develop an adaptive rehabilitation strategy and conduct research into areas of remaining uncertainty. A Conceptual Closure and Rehabilitation Strategy has been developed which details infrastructure decommissioning aspects associated with the project.

The closure strategy, principles and timing are based on a stop gap measure that will utilise these facilities for the foreseeable future. A separate application for Development Approval will be submitted to the Shire of Coolgardie for comment to enable us to lease or purchase 32 Kingswood Street, Widgiemooltha from the Crown as a long-term solution.

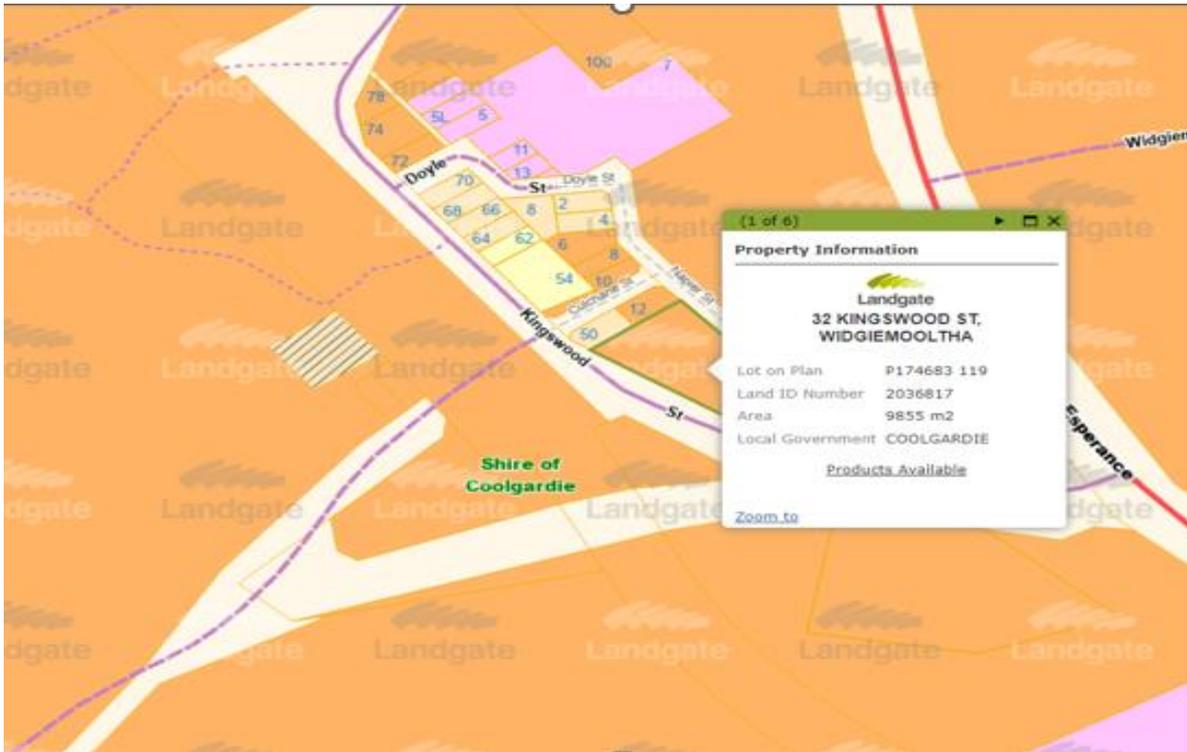


Fig. 17.1. Location of land sought from the Crown as a permanent solution for a future mini-camp

19. Post-Closure Land Use and Rehabilitation

The post closure aim is to establish a sustainable native ecosystem, which mirrors the existing ecosystem, as can be achieved within the limits of recognised good practice rehabilitation methods. At present, the end use will be a return to the lessor based on agreed commercial terms.

The exploration camp will be decommissioned, and all buildings and associated facilities will be dismantled and removed off site. The site will then be rehabilitated back to its original lease condition. The following activities will be completed for each area to be rehabilitated:

- The area will be scarified to facilitate rainfall infiltration and seed collection
- Stockpiled vegetation will be returned, and the area will be seeded with local species
- Tracks will be blocked off to prevent damage to regenerating vegetation.

The following objectives will be followed when rehabilitating the area: Rehabilitation work will be undertaken to ensure that it achieves an acceptable standard compatible with the intended land use and consistent with appropriate criteria.

- To ensure, as far as practicable, that rehabilitation achieves a stable and functioning landform which is consistent with the surrounding landscape and other environmental values.
- To ensure that aesthetic values are considered, and measures are adopted to reduce visible impacts on the landscape as low as reasonably practicable.
- Create the integrity, ecological functions and environmental values of landscapes and landforms within the local setting



DEVELOPMENT APPLICATION CHECKLIST SHIRE OF COOLGARDIE

If you need help deciding what information you should provide please contact the Shire of Coolgardie – Development Services on 08 9080 2111 or email mail@coolgardie.wa.gov.au

TO BE COMPLETED BY APPLICANT	
Name of person submitting the application	<u>Mareshet Meshesha</u>
Has all information required by this checklist been provided?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Signature of person submitting the application	<u></u>
Note: The information is required as part of the process to assess the application and compliance with the checklist does not necessarily mean that the proposed will be approved	

DISCLAIMER *This development checklist has been compiled to ensure that applications lodged are complete and provide all information required. This will assist the Shire of Coolgardie to expedite processing of applications. Please note that the shire reserves the right to request additional information for specific applications such as truck movement plans, traffic reports, colour perspective elevations and acoustic reports.*

Discussing your development proposal at an early stage can avoid unnecessary delays in the processing of the application.

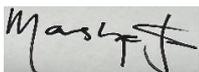
This publication is intended to provide general information only. Verification with the original local laws, planning schemes and other relevant documents is required for detailed references.

Fig 20.1. Development Application Check List

Torque Metals believes the development would be consistent with the objectives of the zone. We hope we have provided the necessary details that are sufficient for you to decide on the development proposed in this application.

Yours Sincerely

Mareshet Meshesha



Exploration Manager
Site Senior Executive – Paris Mine



A1 ————— PERSPECTIVE VIEW



A2

PERSPECTIVE VIEW



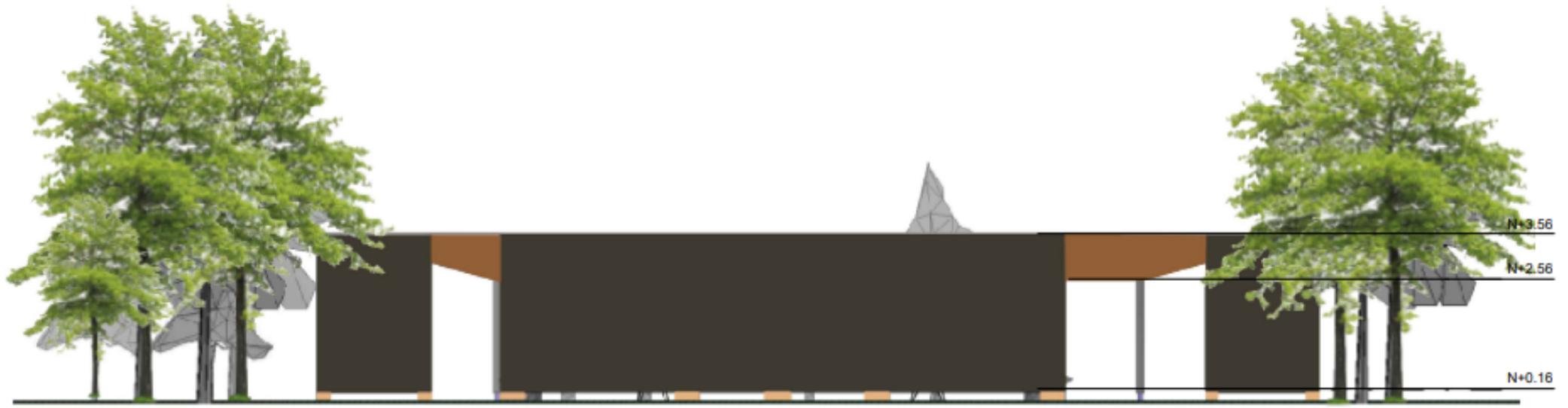
A1

PERSPECTIVE VIEW





(A1) FRONT VIEW
ESC: 1:250



(A1) REAR VIEW
ESC: 1:250