



CONFIRMED

MINUTES

Ordinary Council Meeting

24 February 2026

6.30pm

Council Chambers, Bayley Street, Coolgardie

DISCLAIMER

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Applicants and other interested parties should refrain from taking any action until such time as written advice is received confirming Council's decisions with respect to any particular issue

ACKNOWLEDGEMENT OF COUNTRY

The Shire of Coolgardie acknowledges the Traditional Owners of the land on which we meet and acknowledges their continuing cultural connection to the Land, Waters and Community. We pay our respect to Elders past and present.

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**MINUTES OF SHIRE OF COOLGARDIE
ORDINARY COUNCIL MEETING
HELD AT THE COUNCIL CHAMBERS, BAYLEY STREET, COOLGARDIE
ON TUESDAY, 24 FEBRUARY 2026 AT 6.30PM**

1 DECLARATION OF OPENING / ANNOUNCEMENT OF VISITORS

Shire President, Paul Wilcox, opened the meeting at 6.30pm and welcomed his fellow Councillors, staff and members of the public, and thanked them for their attendance.

1.1 ACKNOWLEDGMENT OF COUNTRY

“The Shire of Coolgardie acknowledges the Traditional Owners of the land, on which we meet and pay our respects to Elders past, present and emerging”

2 DECLARATION OF COUNCIL MEMBERS

The Shire President invites Council Members to declare that they have read the agenda and supporting documents and able to make informed decision on all matters accordingly.

3 RECORD OF ATTENDANCE / APOLOGIES / APPROVED LEAVE OF ABSENCE

PRESENT:

Cr Paul Wilcox (Shire President), Cr Anthony Ball (Deputy President), Cr Tracey Rathbone, Cr Tammee Keast, Cr Daphne Simmons, Cr Julie-Ann Williams

IN ATTENDANCE:

Sabine Taylor (Chief Executive Officer), Rebecca Horan (Executive Manager Governance and Workplace), Leanne Parola (Executive Manager Community Development and Regulatory Services), Martin Whitely (Financial Consultant) via electronic means, Raj Subbiah (Finance Manager), Kasey Turner (Executive Assistant)

APOLOGIES

Nil

LEAVE OF ABSENCE

Cr Corey Matthews

MEMBERS OF THE PUBLIC

Jan McLeod, Rob Morton, Carolyn Freitag, Bruce Olsen, Malcolm Cullen, Elmar Fassler

4 DECLARATIONS OF INTEREST

4.1 Declarations of Financial Interests – Local Government Act Section 5.60A

Chief Executive Officer, Sabine Taylor, declared a financial interest in item 11.1.1 Chief Executive Officer Position.

Deputy President, Anthony Ball, declared a financial interest in item 11.2.1 RSL Request to Construct Storage Shed.

4.2 Declarations of Proximity Interests – Local Government Act Section 5.60B**4.3 Declarations of Impartiality Interests – Shire of Coolgardie Code of Conduct for Council Members, Committee Members and Candidate for Election, Code of Conduct for Employee**

Cr Julie-Ann Williams declared an impartiality interest in item 11.2.1 RSL Request to Construct Storage Shed.

5 RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil

6 PUBLIC QUESTION TIME**Questions asked at the meeting**

Bruce Olsen – 23 Sylvester Street, Coolgardie

1. Can the Shire remove the photo of the last Council from this room?

Shire President response:

No the photo will not be removed from the room.

2. Have the Shire Administration applied for the latest HVRA round?

Shire President response:

The Shire is liaising with Main Roads Western Australia regarding the Heavy Vehicle Rest Area Initiative.

Jan McLeod – Widgiemooltha

1. Considering that the bowling club is a heritage listed site due to the pavilion that was situated there, has permission been sought from the Heritage Council or any associated bodies for the construction of the Storage Shed?

Shire President response:

The item that is being considered by Council is just the request from the RSL. It is not actually the building application or planning application. If the Heritage Council is required to be consulted at a later date, that will happen as part of those processes.

2. Does permission have to be gained from the Heritage Council or like body as happened when the verandah extension was applied for and granted?

Shire President response:

As I stated in my previous answer, if the Heritage Council needs to be consulted, that will happen as being part of the building application or development application process.

Elmar Fassler – Coolgardie

1. **I am a leaseholder up at Kinto, and the Coolgardie North Road is absolutely bad. Phillips Find is carting on it. They're not doing anything. They're not watering. They're not grading. I have to come in on this road and I don't wish it onto you to travel on it. Please, can anything be done about this Coolgardie North Road?**

Shire President response:

I'm aware that we have a number of Shire employees that are out monitoring that road with road works currently.

Chief Executive Officer response:

We are doing some work on Coolgardie North Road. If you would like to give us details of the particular areas off the road that you feel require priority, I would be glad to receive that information.

Bruce Olsen – 23 Sylvester Street, Coolgardie

3. **The Truck Depot, it appears that Truck Drivers are ignoring the signs who is responsible for monitoring this?**

Truckloads of explosives along with Compressed Natural Gas and Fuel are seen parked in the depot.

Refrigerated Trucks and Trailers still persist in parking close to Noise Sensitive Properties including the Dirt Parking area across from the Vibe and across the road in Bayley Street from the Motel units.

Shire President response:

The Shire Ranger team is actively enforcing that area in question. The observations that you've made have been noted and we will investigate them further as part of the general monitoring that occurs in that area.

Chief Executive Officer response:

We are monitoring the Truck Stop quite closely. It is a difficult situation for us, not just for Coolgardie but for the whole of the Goldfields. We're working closely with Main Roads and other agencies, and our Rangers are taking action where they can.

4. **Why was the Truck Diesel Engine powered Cabin Air conditioners not on the signs to be shut down whilst the trucks are parked in the Truck Depot?**

These Air Conditioning units are capable producing 80 Decibels and as Trucks are parking for Rest Stops this still means that the residential properties have to endure this Tonal Noise 24 hours a day.

Residents also need rest and since the Truck Depot was located in the wrong spot then they need to comply with the residents required noise levels to sleep.

Shire President response:

In terms of the refrigerated vehicles, they're requested to only park in the designated bays with noise to be kept to a minimum. There are obviously noise restrictions that exist at various times of the day in various allowable levels. That would really fall under unacceptable noise that's outside of those periods.

The similar monitoring that we mentioned before around the Shire's Ranger Team ensuring that there is not excessive noise is being investigated in that regard and also in general the concern about noise is scheduled to be investigated in detail post-completion of the upgrade works.

Jan McLeod – Widgiemooltha

- 3. What is going to happen to the pavilion which is in storage somewhere in Coolgardie and was removed without permission?**

Note: This question was taken on notice at the meeting.

Chief Executive Officer response:

The Pavilion is currently located at the Coolgardie Railway Station site, adjacent to the Men's Shed, where it has remained since approximately 2006. It is presently covered with a tarp for protection. Available records do not indicate the reason for its relocation or who authorised or carried out the move.

- 4. Will the pavilion be relocated on its original site?**

Note: This question was taken on notice at the meeting.

Chief Executive Officer response:

At this stage, the project is not identified as a priority, though it may be revisited and discussed with Council as appropriate.

Bruce Olsen – 23 Sylvester Street, Coolgardie

- 5. Can the Shire check to see if the storm water system at the Innovation Centre is plumbed into the sewage line running between Sylvester and Bayley Street?**

When the area between the visitors centre and the Old Goal was remodelled to stop rising damp a storm came through and 23 Sylvester Street had sewage erupting from the kitchen sink.

Next door at 21 Sylvester Street the back yard was flooded with sewage.

Councillor Cullen when questioned about the issue mentioned that the storm water was plumbed into the sewage system and then got the plumbers to dig up both yards and install non returns into both 21 and 23 Sylvester Street.

Shire President response:

The Shire will review the drainage works at the Innovation Centre and arrange investigations to confirm whether any stormwater infrastructure is connected to the sewer line. This may include CCTV inspections, review of drainage plans, and testing by a licensed contractor.

If any cross-connections or system faults are identified, the Shire will ensure appropriate rectification works are undertaken in accordance with plumbing regulations. We will provide an update once the investigation is completed.

Jan McLeod – Widgiemooltha

5. Will the storage shed encroach on the original site or impede the integrity and view of the pavilion if erected on the site as per application?

Shire President response:

Further to my previous responses around this, because we aren't assessing the development application or the building application, those aspects and those questions would be considered as part of that process.

6. Further to my questions regarding waste-water issues, what are the issues with the pump station behind the Vibe Service Station as there have been 2 emergency call-outs one \$7,436 and \$6,207 while December maintenance was \$5,052.54?

Shire President response:

A similar question was raised around this, I believe it was late last year, we advised that there had been some blockages that had occurred as a result of people disposing of inappropriate materials into the sewerage system. This comes down to further education, ensuring that people are not using the storm water system for the disposal of inappropriate products that block the pumps and prevent the proper processing of waste.

We have also done some mitigation measures around installing cages around the bottom of the foot valves of the pumps to make sure that we try and trap as much debris as possible, but there's only so much that we can do.

7. Why were the locks and barrels at 11 Goodenia Court replaced?

Note: This question was taken on notice at the meeting.

Chief Executive Officer response:

It is common practice for transportable or modular homes to be supplied keyed alike during delivery. This allows the manufacturer and transport/install contractors to access all dwellings efficiently while they are in transit, being installed, and undergoing final works.

For security reasons, and prior to tenants taking possession, the locks were changed to ensure each dwelling had separate keys.

COUNCIL RESOLUTION #12/2026

Moved: Cr Anthony Ball

Seconded: Cr Daphne Simmons

That Council extend public question time for a further 15 minutes.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

8. What processing companies operate in the Shire?Shire President response:

At this point, it's certainly not information that I think the Shire holds as far as being able to provide that information accurately. There would be departments such as the Mines Department that would be the best place to answer those sorts of questions. It is not data that the Shire holds by default.

9. Is the Shire still the largest producer of minerals in the region? What are these figures?Shire President response:

Once again, I don't have that information to provide and I would suggest that perhaps the Department of Mines would be best placed to answer that inquiry for you.

10. Why couldn't members of the gallery explain and elaborate on their questions at the Annual Electors Meeting and were restricted to their written questions submitted earlier?Shire President response:

I'm just going to have to take objection to that characterisation because my recollection was we did receive a number of questions before the meeting, which is fairly standard. Then during the meeting, there were certainly questions that were raised by the public gallery that were not provided in advance that were answered. The assumption and the suggestion that people were prevented from asking their questions is not true in my view.

We did extend public question time four times through council resolution to ensure that all the questions that were planned to be asked were asked in that session, and certainly the characterisation that people were prevented from asking questions is quite easy to confirm that wasn't the case by reviewing the audio recordings that would have been taken during that meeting as well.

11. Why was the gallery restricted by the 15-minute public question time ruling and 2 questions each when at the Annual Electors Meeting in the past, further questions were moved to general business, which prevented the continual extension via motions of public question time?Shire President response:

In the Annual Electors Meeting, I elected to conduct those questions in line with meeting procedures that exist. Those meeting procedures allow for 15 minutes of public question time that can then be extended by resolution of Council. My recollection was that process worked quite smoothly. As far as questions continuing into General Business at the end of the meeting, we asked for motions from the public gallery, none were submitted, and at that stage, statements and general commentary were accepted by the public gallery as a matter of closing out that meeting.

12. The minutes of the last Annual Electors Meeting, July 2025 have not been moved and seconded as a true and accurate record as it did not happen at the recent Electors Meeting, so what happens now?Shire President response:

The Shire sought advice from WALGA in relation to this and the Annual Electors Meeting Minutes are not required to be confirmed by resolution of Council. They are dealt with under two different aspects of the Local Government Act. Ordinary Council Meeting Minutes that do require confirmation are dealt

with under s5.22 and Annual Electors Meeting's that do not require confirmation are dealt with under s5.32.

What is required of the Annual Electors Meeting Minutes is that they are presented for inspection prior to the following Ordinary Council Meeting, which has happened in this case and they do form part of the agenda item for noting for Council.

13. Has the leasing of vehicles at the Coolgardie Waste Facility been cost-effective?

Note: This question was taken on notice at the meeting

Chief Executive Officer response:

The tip opening hours were reduced to better match usage and lower operational costs such as staffing and fuel. However, the machinery lease remained a fixed monthly cost, so the savings from reduced hours did not significantly improve the cost-effectiveness of the equipment.

14. Is the Coolgardie Waste Facility still open for 16hrs/week?

Shire President response:

Yes.

15. Does the generator at the Coolgardie Waste Facility only operate for the 16hrs/week?

Shire President response:

Yes.

16. A late Agenda Item was given at the OCM 22 October 2024 12.1.4 Budget Amendment – back rates

Property 1\$1,439,005.57 – Total

Property 2\$1,900,094.17 – Total

It was stated by the then CEO, Mr. J Trail that he had spoken to the mining companies and they will pay without debate.

Recommendation That Council;

1. Approve an increase in rates revenue of \$1,143,116.10 in 2024/2025 FY... to Ac/No 030179-100 – General Rates...
 2. Approve an increase in rates revenue of \$2,195,893.6 in 2024/2025 FY to Ac/No 030184-100- General Back Rates...
 3. Consider the allocation of \$3,339,009.74 in the 2024/2025 Budget Review
- Moved by Cr Simmons 2nded by Cr Matthews – no opposition

What has happened to these monies?

Where have they been accounted?

Were they actually paid by the mining companies to the Shire?

Note: This question was taken on notice at the meeting

Chief Executive Officer response:

Both properties were to be rated on a UV basis. In practice, this was not the case, as one of the properties was required under the contractual agreement to be rated on a GRV basis. Consequently, the property rated on GRV basis generated a significantly lower amount of rates, and the resulting difference has since been written off. Payments are currently being received for both assessments. Further the above are dealt in accordance with accounting policies and the recent audits have confirmed this.

- 17. With respect to my question 17. raised at the Annual Electors Meeting 10 Feb 2026 and the response given by Cr Tracey Rathbone: "This has been raised before and a response provided...", the question was raised by Elizabeth Hill – Coolgardie on 23 April 2024.**

Her question "2. When will Deborah Ovens name be cleared of the falsified charges with the court?" The reply; "This matter is still on trial with the magistrate courts and cannot be spoken on until the trial is done. The decisions made will depend on the outcomes of the court."

- i) How does the above answer satisfy my question?**
- ii) Why is this answer deemed sufficient?**

Shire President response:

In relation to this item, I spoke briefly on it myself at the Annual Electors Meeting and outlined that I really had no intimate knowledge or personal knowledge of this situation. I allowed Cr Rathbone to respond and she advised that the answer had been provided. If I look at the question that's been asked around the status of the case regarding the Magistrates Court, I believe that question could probably be answered by the Court itself in relation to where that currently sits. That would be my suggestion in that regard to obtain further information as to where the case currently sits.

Questions submitted for the meeting but not asked at the meeting

Rose Mitchell – Coolgardie

- 1. A letter was received for Judumul by Shire of Coolgardie that we would be on the agenda for the February meeting but having looked at the agenda we are not mentioned at all. Can I ask why please as I am sure we mentioned that we cannot apply for grants without proving that we have a lease? I also thought that Council agreed at that last meeting for the lease 4/3.**

Shire President response:

Regarding Council's "agreement" on the lease with a 4/3 vote at the December 2025 Ordinary Council Meeting, this was an approval of the draft lease which then allowed it to be advertised for public comment. As submissions relating to the proposed lease were received, this then triggered the need for the lease to be re-presented to Council before the lease could be executed. This is stated at point 3 of Council Resolution #221/2025.

Chief Executive Officer response:

During further discussions with Councillors, they requested a site visit of the proposed leased area, prior to the matter being tabled at the next Ordinary Council Meeting. Given the timing of these discussions, the matter needed to be deferred until the March Ordinary Council Meeting.

2. **Does this mean that it is possible that we would be on the agenda next month if at all in the future and if so when?**

Chief Executive Officer response:

It is anticipated that this matter will be tabled at the March Ordinary Council Meeting.

3. **Can you tell me why Cr Simmons did not speak the truth when speaking at the OCM meeting in December 2025. She stated that she had come to have a look around but we would not show her everything. Councillor Simmons along with the President and Vice President attended a meeting with us on 3rd November and when asked if they wanted a tour only the president and vice president agreed. Cr Simmons stated that she had already seen everything and that she had morning tea waiting at the Rec Centre.**

Shire President response:

This question includes an allegation about an elected member that cannot be proven with objective evidence and a summary of alleged events that were not recorded or documented. I can't accept the question as stated with the assertion that Cr. Simmons "did not speak the truth" and had this question been asked during Public Question Time I would have asked for this question to be rephrased as per the Coolgardie Meeting Procedures Local Law 2019 - Section 6.7(7)(c).

Tania Higgins – 14 Hunt Street, Coolgardie

1. **Can there be an Electors Meeting held in both towns, I know we are the same Shire but we are 2 towns?**

Shire President response:

There can only be one General Electors meeting per annum as the main purpose of the Annual Electors meeting is to adopt the Annual Report. The current practice is for the Annual Electors Meeting to be shared between Kambalda and Coolgardie each alternating year, and having a single meeting presents an opportunity for electors from across the Shire to gather and hear about and vote on motions that concern issues outside of the towns that they reside in, which assists with building community cohesion across different areas.

An Electors' Special Meeting can be requested by at least 5% of the electors or one third of the elected members on a prescribed form, for a reason specified in that request. It is also important to note that electors are able to ask questions at any Ordinary Council Meeting's or community forums that are held, and Council continues to welcome such input from electors on a regular basis.

The only ability members of the public gallery have at Annual Electors Meeting that they do not have at Ordinary Council Meetings is to move motions that can then be voted on, and any such motions that are carried must be considered by Council at the next Ordinary Council Meeting following the Annual Electors Meeting. At the Annual Electors Meeting held on 10 February 2026 no motions from the public gallery were raised, and hence no further actions were required from Council or the administration other than providing answers to questions taken on notice during Public Question Time.

2. **Any update on repairs badly needed at Warden Finnerty's. Is there another caretaker?**

Shire President response:

The repairs to Warden Finnerty's are being reported to the National Trust on a regular basis.

An application for Planning Approval is being tabled at this meeting to replace the toilet block.

2 Expressions of Interest for the caretakers position were received and are being reviewed.

- 3. I would like the CEO, President + Councillors to go and inspect our beautiful Court House Exhibition Building. This is another building in a very poor state and needs work immediately.**

The work on Finnerty's and the Exhibition Building is of no cost to the Shire. The Council need to dedicate a staff member to these two extremely important buildings in Coolgardie before it's too late to save them.

I was told there is a room closed off in the Museum, Tourist Centre as it is so badly damaged. The outside is in a bad state.

At its Ordinary meeting held in October 2025 Council approved a Development Application to complete extensive works at the Post Office Complex/Visitors Centre/Museum which includes:-

- Internal and external air drains and breathing strips.
- Extent of damp proof course works and methodology.
- Sub-soil drainage works.
- Salt removed and remediation works.

A meeting is scheduled for the coming weeks with the contractors to discuss when the works will commence.

7 APPLICATIONS FOR LEAVE OF ABSENCE

Nil

8 CONFIRMATION OF MINUTES OF PREVIOUS MINUTES

8.1 MINUTES OF THE SPECIAL COUNCIL MEETING HELD ON 21 JANUARY 2026

Date: 17 February 2026

Author: Kasey Turner, Executive Assistant

ATTACHMENTS

Nil

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That the Minutes of the Special Council Meeting held on 21 January 2026 be confirmed as a true and accurate record.

COUNCIL RESOLUTION #13/2026**Moved: Cr Tracey Rathbone****Seconded: Cr Tammee Keast**

That the Minutes of the Special Council Meeting held on 21 January 2026 be confirmed as a true and accurate record.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0**8.2 MINUTES OF THE ANNUAL ELECTORS MEETING HELD ON 10 FEBRUARY 2026****Date: 18 February 2026****Author: Kasey Turner, Executive Assistant****Responses to Questions at Annual Electors Meeting Taken on Notice:**

Jan McLeod – Widgiemooltha

5. What other fencing is the Shire paying for**i) Where?**Chief Executive Officer response:

The Shire is not paying for any other fencing.

ii) Is it necessary?Chief Executive Officer response:

Not applicable.

7. What are the specifications of a Main Roads RAV-10 road for haulage?Chief Executive Officer response:

MRWA and Austroads Technical Specifications outline the primary design standards to be adopted across the road network. Further guidance can be obtained from MRWA Standard Restricted Access Vehicle Route Assessment Guidelines. Such guidelines are for the purpose of assisting Main Roads Heavy Vehicle Services (HVS) in making an informed decision as to whether a road is suitable for use by a particular category of Restricted Access Vehicle (RAV).

Does Lady Loch Road comply with this classification as the bitumen is only wide enough for 1 road-train and the edges are breaking?

Chief Executive Officer response:

Lady Loch Road is currently under review for compliance and acknowledging the high heavy industry demands currently in place and growing for this section of road. The Shire is to install a road counter near to the intersection with Bayley Street to measure traffic flows and speeds to fully interpret the needs in relation to upgrades required to facilitate those demands. Dependent on those findings the Shire may seek an application for appropriate funding to Regional Road Group or other schemes if deemed suited.

For the interim, the works team are scheduling to conduct minor pavement repairs to defects in place and investigate traffic calming measures that may include additional signage to the route.

Since local businesses are located in Lady Loch Road, a residential property and the entrance to the Truck Depot, it seems that travel on this road is becoming more hazardous with the increased haulage from the mines located south of town. What can be done to address this situation?

Chief Executive Officer response:

Refer to above response for Lady Loch Road. Road Counter data will inform the decision making process in relation to safety and the appropriate mitigation measures that may need to be in place.

Does haulage travel on Shire roads after 7pm when Council Policy does restrict this?

Chief Executive Officer response:

Under Policy Number 3.10, certain operators may travel at night on condition the RAV displays an amber flashing warning light on the Prime Mover and adhere to a lower speed limit.

Issues in relation to haulage after 7pm can be investigated by the Shire, particularly when this affects local residents and members of the community.

- 9. Waste-water issues: please tell the community all issues relating to the wastewater sewerage plant as upgrades were meant to be done, but there has been overflows, red lights showing problems being triggered, the smell at the western end of town, overpowering.**

- i) What are the input limits as initially it was built for the town, not envisioning FIFO Camps and Wastewater coming in from outside the Shire (in order to make money)?**

Chief Executive Officer response:

According to the license approval the treatment capacity ranges from 100 to 1,000 m³/day and a design flow rate of 180 m³/day. When the license amendment application was done prior to accepting water the volumes were provided to the department of water. This data deemed the wastewater treatment plant capable of accepting additional volumes.

- ii) What work needs to be done, and at what cost to have a balance between income and expenditure?**

Chief Executive Officer response:

A condition assessment will be done this year, from the condition assessment findings the required works will be determined.

- 10. Back in? Council agreed to buy an EV Truck, unbudgeted expenditure.**

- i) Where is the truck?**
- ii) Has it broken down?**
- iii) What repairs have been done?**
- iv) Is it economical for the Shire to use this truck?**
- v) Is it fit-for-purpose?**
- vi) What has it cost so far?**
- vii) Can it be sold?**

Chief Executive Officer response:

There was an incident with the EV truck in November 2024 which resulted in the truck being sent to WA Hino for review and repairs. The truck still remains with WA Hino and we are working with them to resolve the matter.

11. Has the leasing of vehicles at the tip been cost-effective?

Chief Executive Officer response:

There is no leased equipment at the Kambalda Waste Facility.

Does the generator only run for 16hrs/week?

Chief Executive Officer response:

Yes.

12. The Council website is extremely difficult to use even for experienced computer users.

- ii) **Is the Shire receiving value for money from Market Creations and whoever else the Shire pays to maintain their website, promotional material, licences, subscriptions etc. for IT provisions as the cost is quite substantial?**

Chief Executive Officer response:

An independent IT audit was undertaken in 2024 by an external consultant. The review assessed the Shire's entire IT environment and included consideration of transitioning to an alternative service provider.

Upon completion of the audit, it was determined that there would be no cost savings associated with changing providers. As a result, the Shire has continued its agreement with the current provider.

13. The same applies to the various consultants that have been used. Are they aware and take into account the dynamics of actually living in a region/shire such as ours? How do we know that the Shire is receiving value-for-money?

Chief Executive Officer response:

In relation to consultants, the Shire engages external consultants strictly in accordance with the Local Government Act 1995, the Local Government (Functions and General) Regulations 1996, and the Shire's Purchasing Policy, which requires demonstrated value-for-money, capability, and relevant experience.

Consultants are selected based on their professional expertise, their understanding of regional and remote community contexts, and their ability to deliver work that supports Shire's strategic and operational objectives.

15. Council had a blitz on unkept yards – fire hazard – but what has been done or can be done regarding the fire risk of tall, dried grasses on reserve land especially in and around Coolgardie?

Chief Executive Officer response:

The actions that can be taken depend on whether the land is Crown Land, Council Reserve or Private Property. Each area falls under a different responsibility.

16. The tenure of former Councillors, as elected by the ratepayers, John Williams and Darryl Holbrook has never been recorded in the Annual Report despite “It will be considered”, as was the statement Shire President and 5 Councillors. What can be done to address their omission?

Chief Executive Officer response:

The error was acknowledged previously, and the matter was considered, however, changes were not made.

ATTACHMENTS

Nil

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That Council receive the Minutes of the Annual Electors Meeting, noting that there were no motions arising which require the consideration of Council.

COUNCIL RESOLUTION #14/2026

Moved: Cr Anthony Ball

Seconded: Cr Julie-Ann Williams

That Council receive the Minutes of the Annual Electors Meeting, noting that there were no motions arising which require the consideration of Council.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

9 PETITIONS / DEPUTATIONS / PRESENTATIONS / SUBMISSIONS

Nil

10 REPORTS OF COMMITTEES

Nil

11 REPORTS OF OFFICERS

11.1 Executive Services

Chief Executive Officer, Sabine Taylor, declared a financial interest in item 11.1.1 Chief Executive Officer Position Description and left the meeting at 7.05pm.

11.1.1 CHIEF EXECUTIVE OFFICER POSITION DESCRIPTION

Location: Shire of Coolgardie

Applicant: Nil

Disclosure of Interest: Nil

Date: 6th February 2026

Author: Rebecca Horan, Executive Manager Governance and Workplace

The current Chief Executive Officer has previously declared an interest in this matter and has played no part in the preparation of this agenda item.

SUMMARY

For Council to approve the Position Description of the Chief Executive Officer for the Shire of Coolgardie to support the recruitment of a permanent CEO.

BACKGROUND

Following Council's endorsement of the CEO Recruitment Panel's recommended appointment of the Independent Panel Member at the Special Meeting of Council held on 21 January 2026, the panel met on 28 January 2026 with Council's appointed HR consultant (Beilby Downing Teal) to discuss the requirements of the position, the desirable attributes of applicants, and to formalise a job description and application pack for Council endorsement prior to advertising, in accordance with the CEO Model Standards.

Further panel discussions were held over the subsequent fortnight, with the final version of the documentation endorsed by the panel on 12 February 2026. This document has been included in the agenda attachments and will form the basis for advertising the position and enabling the HR consultant to commence an extensive search process.

COMMENT

Council endorsement of the position description is required prior to finalising the recruitment arrangements and progressing to advertisement of the position.

CONSULTATION

- CEO Recruitment Panel
- Emily Bulloch, Beilby Downing Teal

STATUTORY ENVIRONMENT

Local Government (Administration) regulations 1996 – Schedule 2 – Model Standards for CEO recruitment, performance and termination.

POLICY IMPLICATIONS

Policy 1.10 – CEO Standards and Performance Review Process

FINANCIAL IMPLICATIONS

There are no direct financial implications associated with approving the CEO position description. Any costs associated with the recruitment process will be managed within the existing budget.

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

High quality corporate governance, accountability and compliance

ATTACHMENTS**1. Application Pack - CEO Recruitment****VOTING REQUIREMENT**

Absolute Majority

OFFICER RECOMMENDATION

That Council approve the Chief Executive Officer Position Description contained within the Application Pack for the Shire of Coolgardie, as presented, to support the recruitment of a permanent CEO.

COUNCIL RESOLUTION #15/2026

Moved: Cr Tammee Keast

Seconded: Cr Tracey Rathbone

That Council approve the Chief Executive Officer Position Description contained within the Application Pack for the Shire of Coolgardie, as presented, to support the recruitment of a permanent CEO.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

Chief Executive Officer, Sabine Taylor returned to the meeting at 7.09pm.



Chief Executive Officer Application Pack

beilby
downing
teal.



About the Shire of Coolgardie: Mother of the Goldfields

The Shire of Coolgardie, known as the "Mother of the Goldfields," is the most populous Shire in the southern Goldfields of Western Australia. It is located approximately 550 kilometres East of Perth. It encompasses an area of 30,400 km² and includes the towns of Coolgardie, Kambalda, Widgiemoorltha and the Aboriginal community of Kurrawang.

Over 3,600 people live in the Shire and enjoy a relaxed lifestyle complemented by a stunning natural environment.

Celebrated for the gold and nickel discoveries in Coolgardie and Kambalda, the Shire continues to thrive with a multitude of mining and processing companies operating in the area. The Shire is the largest producer of minerals in the region with gold and nickel mining operations supporting globally significant regional exports.

Rich in gold-rush era history, the towns feature some of the grandest historical buildings. Unique natural assets and museum collections offer extraordinary tourism experiences.

The Shire of Coolgardie provides excellent amenities, community activities and events throughout the year providing a comfortable lifestyle with plenty to see and do.

Boasting over 35 sporting and community groups, there are a range of opportunities for people to connect. Quality recreational facilities bring the community together with activities available for everyone.

[Link to YouTube video about the Shire: Shire of Coolgardie](#)





The Shire is located 550kms east of Perth, with its northern boundary beginning just 11 km from the centre of the City of Kalgoorlie-Boulder. Residents of the Shire interact closely with the City for sporting activities, social interactions and service provision

Economic Profile

The Shire of Coolgardie has a strong mining history, with significant mining production and exploration activities continuing today.

The top industry employers within the Shire are:

- Mining (over 80% of residents are employed by the mining industry)
- Education & Training
- Construction
- Retail Trade
- Accommodation/Food

Facilities

The Shire operates two aquatic facilities:

- Coolgardie Pool
- Kambalda Aquatic Facility





The Shire's Vision:

A connected, progressive and welcoming community

This vision is underpinned by four key pillars of community:

<p>Accountable and Effective Leaders</p> <ul style="list-style-type: none"> Engaged with the community Transparent, accountable and effective governance Advocate for the community 	<p>An Inclusive, Safe and Vibrant Community</p> <ul style="list-style-type: none"> A sense of place and belonging A safe and healthy community Celebrate our culturally diverse community
<p>A Thriving Economy</p> <ul style="list-style-type: none"> Build economic opportunity and capacity Facilitate local business development and retention Pathways for young people into training and employment 	<p>Effective Management of Infrastructure, Heritage and Environment</p> <ul style="list-style-type: none"> Value local culture and heritage Sustainable management of resources Enhance the built environment





Links to strategic documents

[Workforce Plan 2025 - 2030](#)

[Community Strategic Plan 2018 - 2028](#)

[Community Strategic Plan - Disability and access inclusion plan](#)

[Creative and Cultural Plan 2024 - 2028](#)

[Long Term Financial Plan 2025 - 2035](#)

Future Directions for Creative and Cultural





Advertisement – Chief Executive Officer

Career-defining opportunity for a Local Government professional to steer the Shire of Coolgardie towards a bright future

- Transparent, ethical and stringent leadership
- Three year initial contract with potential for extension
- Total Reward Package up to \$300,370 plus flexible benefits

THE SHIRE

Located in the Goldfields-Esperance region of Western Australia, the Shire of Coolgardie encompasses an area of 30,400 km² and a strong mining history, with significant mining production and exploration activities continuing today. The Shire is at a pivotal moment, entering a period of rebuilding, and is looking for an exceptional leader to restore trust in the community, reset culture and performance, and provide visible and accountable leadership that puts people first, while reestablishing financial sustainability.

THE ROLE

Working closely with Council, the CEO will lead the Shire through a demanding period of consolidation and renewal. This will require ethical and knowledgeable leadership, strong financial discipline, a clear focus on building long-term sustainability and confidence in the organisation. The role is hands-on and practical, with responsibility for strengthening governance, meeting legislative obligations, and ensuring community needs remain front of mind. The CEO will also play a key role in building regional partnerships, pursuing funding and grant opportunities, and working constructively with stakeholders.

REQUIREMENTS

This role calls for a committed leader who is driven by the opportunity to leave the Shire stronger, more connected, and better placed for the future. The ideal candidate to steer the Shire will be a Local Government professional with the highest levels of integrity and a hands-on, community-minded and practical approach. Transparent and accountable leadership will be essential as well as an adept understanding of the legislative requirements of the Local Government sector.

THE PACKAGE

An initial performance-based contract of three years is on offer with the potential for extension. The Total Reward Package will be up to \$300,370 in accordance with the Salaries and Allowances Tribunal Band 3.

The Shire welcomes applications from accomplished leaders who are interested in becoming an integral part of its regional community and is particularly keen to hear from candidates who would like to reside in the region and embrace the lifestyle and opportunities it offers. To support this, suitable housing will be provided as part of the employment contract, enabling the successful applicant to live locally and engage fully with the community they serve.

Flexible benefits, including a vehicle or vehicle allowance, regional allowance, and professional development, are negotiable.



To apply please click the Apply Now button or visit www.bellbydt.com.au quoting reference **1007798**. Please provide a comprehensive resume together with a covering letter of no more than three pages, outlining your interest in the position and addressing your suitability for the role.

Download an Application Pack by clicking or copying and pasting this link in your browser: <https://bellbydt.com.au/application-packs>

For initial enquiries, or for any assistance you may need in making your application, please contact **Emily Bulloch** for a confidential discussion on 0427 582 402 or ebulloch@bellbydt.com.au.

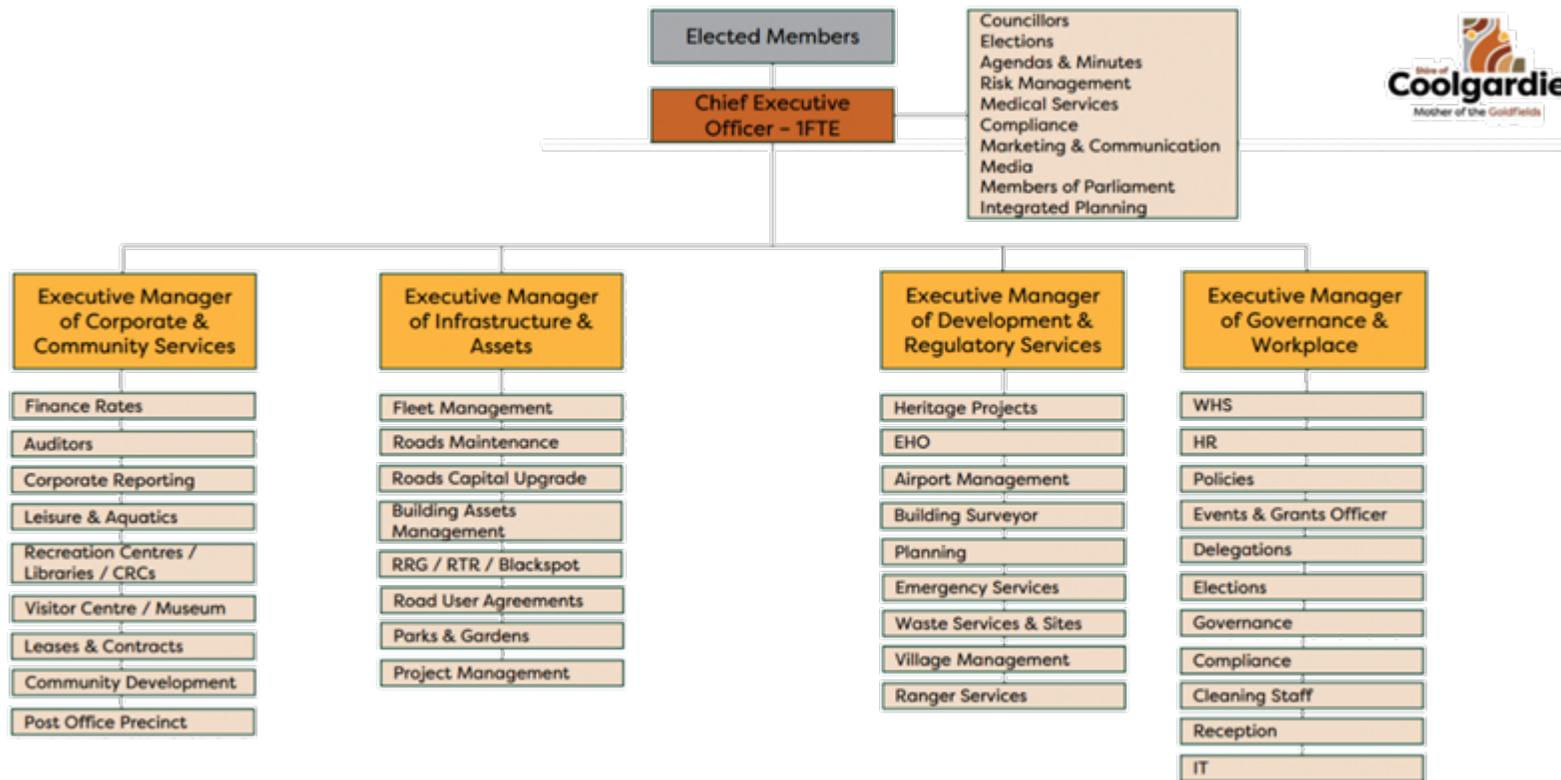
Applications will close at **4pm AWST on Friday 27 March 2026**.

Canvassing of Elected Members will disqualify.





Organisation Structure
November 2025



Note: This is a working document which is subject to change. The implementation and final structure will be one of the key responsibilities of the new CEO in their initial term.



POSITION DESCRIPTION

Shire of Coolgardie CEO

1. POSITION IDENTIFICATION

Title:	Chief Executive Officer
Division:	Office of the CEO
Reports To:	Council
Reporting Positions:	As per supplied organisation chart
Employment Type:	Full-time, term contract
Contract Term:	3 Years
Location:	Coolgardie & Kambalda

2. POSITION OBJECTIVES

- Provide knowledgeable, ethical and engaging leadership to the organisation and the community.
- Facilitate programs, projects, and services that are cost effective and strategically aligned.
- Link the community, the Council, and the organisation with an inclusive, relevant and functional integrated planning framework.
- Comply with all statutory and regulatory requirements in the *Local Government Act 1995 (WA)* and other relevant legislation.
- Deliver accurate, timely and relevant advice to the Council so that informed decisions can be made and promote good governance practices.
- Strengthen and maintain a capable workforce committed to achieving the objectives of the Strategic Community Plan, Integrated Planning, Levels of Service and other strategies.
- Strive for a strong and sustainable long term financial position.
- Ensure continuous learning on contemporary management practice and best practice.
- Role model ethical behaviour and behaviour which exemplifies the Local Government's values.

3. ROLES AND RESPONSIBILITIES

Leadership and Engagement

- Provide the vision and leadership necessary to enable the Council and workforce to achieve strategic objectives and to deliver programs, project and services in an efficient, effective, and sustainable manner.
- Establish and maintain meaningful and productive working relationships with key stakeholders including federal and state government representatives, business, community and sporting associations and neighbouring regional Local Governments.



Program, Project and Service Delivery

- Deliver programs, projects and services in a sustainable and cost-effective manner guided by the Strategic Community Plan and Corporate Business Plan, and in line with the annual budget.
- Plan for and deliver major projects utilising competent project management systems and sufficient lead times to satisfy projected timeframes and community expectations.
- Review level of services and programs to measure, maintain and improve value for money and monitor community utilisation and satisfaction.
- Drive a culture of commitment to continuous improvement in customer service.

Strategic Development

- Be responsible for the implementation of the integrated strategic planning framework.
- Ensure real and functional linkage between the Strategic Community Plan, the Corporate Business Plan and the annual budget.
- Facilitate effective engagement with the community in reviewing the Community Strategic Plan.
- Facilitate regular engagement with elected members in reviewing the Local Government's progress against the objectives and aspirations of the Strategic Community Plan and Corporate Business Plan.

Governance, Compliance and Risk

- Facilitate the effective conduct of meetings through appropriate meeting spaces, quality agendas and availability of relevant staff to provide advice and support.
- Ensure that timely advice and information is available to all Councillors so that informed decisions can be made.
- Ensure compliance with all statutory and regulatory obligations.
- Review, amend and Maintain:
 - the council policy framework to ensure it is relevant, current and accessible. the delegation and disclosure registers to ensure they are current, accurate and accessible, and
 - A robust and effective enterprise-wide risk management framework.

Council Relationships

- Maintain an effective working relationship with the President and Councillors with a focus on timely communication and accessibility.
- Provide accurate, timely and relevant information to elected members so they can discharge their responsibilities effectively.
- Identify training and development opportunities for elected members.
- Ensure Council decisions are implemented in a timely and effective manner.



Human Resource Management

- Develop and implement a workforce plan demonstrating the resources and capacity necessary to meet the Strategic Community Plan and Corporate Business Plan objectives.
- Provide, training and development opportunities for employees.
- Strive to deliver a values driven workplace culture through training, development, and leading by example.
- Drive enterprise-wide commitment to a safe workplace.
- Ensure the principles of equal opportunity, fairness, and transparency are applied in all human resource matters.

Financial Management

- Develop functional and transparent reporting systems and processes that effectively monitor, review and administer the financial performance of the Local Government.
- Maintain a close oversight of the Local Government's financial position and performance.
- Exercise prudent and responsible stewardship of the Local Government's physical and financial assets committed to achieving long term sustainable outcomes.
- Facilitate regular engagement with elected members to review the Local Government's financial position and performance.

Personal Attributes

- **Leadership:** Has the experienced ability to lead and guide elected members, employees and stakeholders with credibility, competence, and empathy. Demonstrates behaviours which align with the Local Government's values and leads by example.
- **Problem Solving:** Can identify, analyse and dissect complex situations to evaluate alternatives and generate solutions.
- **Ethics:** Is committed to the highest standards of ethical behaviour personally and professionally and always acts fairly and transparently, meeting the standards required of the Local Government (Model Code of Conduct) Regulations 2021
- **Collaboration:** Achieves outcomes through developing productive working relationships with key influencers and decision makers.
- **Communication:** Communicates with clarity and respect, underpinned by sound listening skills and a commitment to considering alternative points of view.
- **Personal Development:** Balances work and life needs through stable and sustainable work practices and an ongoing commitment to personal and professional development.



SELECTION CRITERIA

Knowledge and Experience	Essential	Desirable
Extensive senior leadership or management experience in a Local Government environment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Transparent and accountable leadership with proven ability to create and foster a positive, collaborative workplace culture.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ability to interpret, facilitate and collaborate to navigate the diverse challenges across regional Western Australia.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proven financial management and recovery skills in line with Integrated Planning and Reporting practices and service level review and delivery.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Demonstrated experience in managing and reporting compliance and corporate governance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An ability to interpret, understand and execute a statutory and regulatory environment relevant to Local Governments and the role and functions of Local Government.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Demonstrated experience in achieving successful outcomes through relationship building and collaboration with stakeholders.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Demonstrated experience in achieving successful outcomes through relationship building and collaboration with stakeholders.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Qualifications	Essential	Desirable
Tertiary Qualifications in a discipline relevant to Western Australian Local Government.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Post Graduate Qualifications in leadership, management or public or business administration.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Applicant Notes

These notes are provided to assist you in the preparation of your application and to help the selection panel evaluate your application.

APPLICATION:

Your application should include:

- A comprehensive resume; and
- A covering letter of no more than three pages, outlining your interest in the position and addressing your suitability to the role.

It is essential that the information you provide is clear, concise and relevant, so that the selection panel can readily assess your claim for the position.

Initially based on written applications, candidates who demonstrate that they meet the requirements of the role and, relative to other candidates, appear to be competitive, will be considered for interview.

By submitting your application you agree to the following declaration:

To the best of my knowledge, all information contained in this application and the supporting documentation is true and accurate in every material respect. I acknowledge that it is my responsibility to inform the Shire of Coolgardie, or its appointed agent, should there be any change in the truth, accuracy or materiality of this information after it has been provided for the purpose of this application.

I understand that the Shire of Coolgardie reserves the right to verify all information in my application and that any materially false or misleading information will be sufficient reason for my rejection as an applicant, being in breach of Regulation 18E of the Local Government (Administration) Regulations 1996.

I understand any information obtained by the Shire of Coolgardie during any background checks will only be used for the purpose of verifying information contained in the application and determining my suitability for the position. Any such information obtained will be treated as strictly confidential and will only be made available to the selection panel at the time, and for the purpose, of selecting the successful applicant.

I authorise the Shire Coolgardie, or its appointed agent, to make whatever background checks are considered necessary or appropriate in order to satisfy itself of my suitability for the position, and to check the accuracy of any information contained in my application or supporting information.

LODGEMENT OF APPLICATION:

Applications should be made online at www.bellbydt.com.au quoting job reference **1007798**.

Applications will close at **4pm AWST on Friday 27 March 2026**.

Late applications will not be accepted.

**REFEREES:**

Applicants should provide the names and contact details of at least two current referees in their application. This will include two managers or suitably senior colleagues that can comment on work outcomes, competencies and behaviours that are relevant to this position.

INTERVIEWS:

Interviews will be conducted either in person in Coolgardie or via video conference.

Shortlisted applicants may be required to complete psychometric testing and/or Digital Interview in addition to reference checking, and may be required to attend a second interview.

BACKGROUND CHECKS:

Third party background checks will be undertaken for the preferred applicant – this includes qualification, police clearance, identity and employment history verifications.

PRE-EMPLOYMENT MEDICAL:

The preferred applicant will be required to undertake a pre-employment medical to ascertain if they are fit and can safely perform the inherent requirements of the role.

EQUAL OPPORTUNITY:

The Shire of Coolgardie maintains an equal opportunity policy in assessing all applications for any advertised position and provides a smoke free work environment.

WEBSITE:

The Shire maintains a website <https://www.coolgardie.wa.gov.au/> which contains substantial information.

FURTHER ENQUIRIES:

For further information about the role please contact Emily Bulloch, Principal Consultant – Beilby Downing Teal on 0427 582 402 or ebulloch@beilbydtf.com.au.



11.2 Operation Services

Deputy President, Anthony Ball, declared a financial interest in item 11.2.1 RSL Request to Construct a Storage Shed and left the meeting at 7.10pm.

Cr Julie-Ann Williams declared an impartiality interest in item 11.2.1 RSL Request to Construct a Storage Shed.

11.2.1 RSL REQUEST TO CONSTRUCT STORAGE SHED

Location: 75 Sylvester Street, Coolgardie

Applicant: Coolgardie RSL

Disclosure of Interest: Nil

Date: 30 January 2026

Author: Leanne Parola, Executive Manager Community Development and Regulatory Services

SUMMARY

The Coolgardie RSL have submitted a request to construct a storage shed at the Coolgardie Bowling Club.

BACKGROUND

Staff have received a letter from RSLWA, Coolgardie Sub-Branch seeking approval to build a storage shed in the Coolgardie Bowling Club precinct located at 75 Sylvester Street, Coolgardie.

COMMENT

The Coolgardie RSL currently have a Community User Agreement in place for the lease of the property expiring on 31 March 2027.

The Community User Agreement requires the Shire's written consent prior to the user group undertaking any alterations or additions to the premises (including land and grounds).

The Coolgardie Bowling Pavillion is a State listed property, and although the Pavillion is no longer on the site, in accordance with the Regulations and the Heritage Act 2018, will still require approval and a referral to the Department of Planning, Lands and Heritage (DPLH)

Only minor works such as maintenance and like-for-like repairs are exempt from approval. Alterations and additions, and the construction of new buildings / structures, and even interior works, require approval.

This is because the State Register encompasses the entire place, including the land, any existing or past structures, as well as any material below it.

CONSULTATION

- Jointly Planning, Shire's Planning Consultant
- Coolgardie RSL

STATUTORY ENVIRONMENT

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

The estimated costs for both planning and building application fees is approximately \$2,000.

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

Ensuring a well-informed Council makes good decisions for the community

High quality corporate governance, accountability and compliance

Effective management of infrastructure, heritage and environment

Facilitating the preservation of heritage sites and buildings

ATTACHMENTS

1. Letter from RSL
2. Building Application Form
3. Site Plan
4. Quote Specs Elevations
5. Brochure

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That Council:

1. Approve the proposed alterations to the Coolgardie Bowling Club precinct subject to the following conditions:
 - a. The Coolgardie RSL obtains Planning Approval
 - b. The Coolgardie RSL obtains Building Approval
 - c. Any changes to the approved plans must be submitted to Council for further consideration and approval prior to implementation.
2. Waive the Planning and Building application fees of approximately \$2,000.

MOTION**Moved: Cr Daphne Simmons****Seconded: Cr Tracey Rathbone****That Council:**

1. Approve the proposed alterations to the Coolgardie Bowling Club precinct subject to the following conditions:
 - a. The Coolgardie RSL obtains Planning Approval
 - b. The Coolgardie RSL obtains Building Approval
 - c. Any changes to the approved plans must be submitted to Council for further consideration and approval prior to implementation.
2. Waive the Planning and Building application fees of approximately \$2,000.

COUNCIL RESOLUTION #16/2026**Moved: Cr Tracey Rathbone****Seconded: Cr Tammee Keast****That Council accept the alternative recommendation for consideration.****That Council:**

1. Approve the proposed alterations to the Coolgardie Bowling Club precinct subject to the following conditions:
 - a. The Coolgardie RSL obtains Planning Approval
 - b. The Coolgardie RSL obtains Building Approval
 - c. Any changes to the approved plans must be submitted to Council for further consideration and approval prior to implementation.
2. Waive the Planning and Building application fees by 50%.

In Favour: Crs Paul Wilcox, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 5/0

Cr Tracey Rathbone's reason for an alternative recommendation:

The Shire is very generous to our local community groups and this group is very productive and progressive and have received significant funding to do achievable, great things with the club. A contribution towards both the planning and building application fee would be quite generous.

COUNCIL RESOLUTION #17/2026**Moved: Cr Daphne Simmons****Seconded: Cr Tracey Rathbone****That Council:**

1. Approve the proposed alterations to the Coolgardie Bowling Club precinct subject to the following conditions:

- a. The Coolgardie RSL obtains Planning Approval
- b. The Coolgardie RSL obtains Building Approval
- c. Any changes to the approved plans must be submitted to Council for further consideration and approval prior to implementation.

2. Waive the Planning and Building application fees by 50%.

In Favour: Crs Paul Wilcox, Tracey Rathbone, Tamme Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 5/0

Deputy President, Anthony Ball, returned to the meeting at 7.16pm.

COOLGARDIE RSL
SUB BRANCH
75 SYLVESTER ST
COOLGARDIE WA 6429
12TH JANUARY, 2025

The Shire Council
Coolgardie WA 6429

We wish to apply to install a new storage shed as per application submitted.

The storage shed will be the same colouring as existing as to not conflict with the décor.

Full details can be found in our application.

Regards,
Ann Meagher
Secretary

APPLICATION

FORM **BA2**

Application for building permit – uncertified

Building Act 2011, section 14, 16
Building Regulations 2012, regulation 4, 16

PERMIT AUTHORITY
USE ONLY

Reference number

Permit authority

COOLGARDIE SHIRE COUNCIL

1. Property this application relates to

Property street address (provide lot number where street number is not known)

Unit no	Street no 75	Level	Lot no 2248
Street name SYLVESTER		Street type STREET	Street suffix
Suburb COOLGARDIE		State WA	Postcode 6429
Volume		Folio	

Certificate of title (if known)

Local government area (if different from permit authority)

Is this lot vacant?

Yes No

2. Details of building work

Project name (if any)

STORAGE SHED

Description of the building(s) and building work

STRATCO DESIGNED STORAGE SHED WITH ROLLER DOOR

Main use of building(s)

STORAGE

Building Code of Australia (BCA) class of the building(s)

Main BCA class

- Class 1a single dwelling (including detached house, row house, terrace house, town house or villa unit)
- Class 10a (garage, carport, shed or the like)
- Class 10b (fence, mast, antenna, retaining or free standing wall, swimming pool or the like)
- Class 10c (private bushfire shelter)

Secondary BCA class (for multi-purpose buildings)		Third BCA class (for multi-purpose buildings)	
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BA2

Type of work	<input checked="" type="checkbox"/> New building/structure <input type="checkbox"/> Alteration/addition <input type="checkbox"/> Refurbishment/fit out <input type="checkbox"/> Relocation of a building to this site <input type="checkbox"/> Change of use/conversion			
Type of building or incidental structure (if a Class 10)	<input type="checkbox"/> Swimming pool/spa <input type="checkbox"/> Garage <input type="checkbox"/> Patio <input type="checkbox"/> Carport <input checked="" type="checkbox"/> Shed <input type="checkbox"/> Fence/wall <input type="checkbox"/> Retaining wall <input type="checkbox"/> Water tank <input type="checkbox"/> Other			
Number of dwellings relocated TO this site from another site	NIL			
Type of structure	<input checked="" type="checkbox"/> Detached (free standing) <input type="checkbox"/> Attached to another structure			
Number of residential dwellings to be created	NIL	Number of storeys of the highest building (above ground)	ONE	
Number of basement storeys of the building (below ground)	NIL	Estimated value of building work (including GST)	\$ 5,200	
Floor area to be created (m ²)		Site (lot) area (m ²)		
What are the main materials used in the building work?	Floor <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Timber <input type="checkbox"/> Steel <input type="checkbox"/> Other	Exterior walls <input type="checkbox"/> Brick (double) <input type="checkbox"/> Brick (veneer) <input type="checkbox"/> Concrete/stone <input type="checkbox"/> Fibre cement <input type="checkbox"/> Timber <input type="checkbox"/> Curtain glass <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other	Roof cover <input type="checkbox"/> Tiles <input type="checkbox"/> Concrete <input type="checkbox"/> Fibre cement <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other	Wall frame <input type="checkbox"/> Brick/block <input type="checkbox"/> Concrete <input type="checkbox"/> Timber <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
	If 'other' please specify			
Intended owner of the completed building	<input type="checkbox"/> Private sector <input type="checkbox"/> Government sector	Is this application for a stage of a multi-stage building project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is a performance solution to a building standard proposed for the building work? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				

BA2

3. Owner details

Where there are multiple owners, please attach a list with the names and signatures of each owner. If each of those owners requires a copy of the building permit, please also provide forwarding details for each owner.

Owner's name

Street address (provide lot number where street number is not known)

Unit no	Street no	Level	Lot no
Street name		Street type	Street suffix
Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

Phone/fax

Phone no	Fax
----------	-----

Owner's signature* **Date**

*If you are authorised to sign on behalf of the owner, please provide your written legal authorisation with your application. Owner's signature is not required for Class 1 or Class 10 buildings or incidental structures.

4. Builder details

Builder's name

Street address (provide lot number where street number is not known)

Unit no	Street no	Level	Lot no
Street name		Street type	Street suffix
Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

Phone/fax

Phone no	Fax
----------	-----

BA2

Type of builder	<input type="checkbox"/> Registered building contractor (provide registration number below) <input type="checkbox"/> Approved owner-builder (attach owner-builder approval from the Building Services Board and provide owner-builder approval number below) <input type="checkbox"/> Public Authority <input checked="" type="checkbox"/> Other (building work under \$20,000, or where registered building contractor not required)		
Registration number or owner-builder approval number	Registration / approval number (if relevant)		
Builder's signature	Name (print)		
	Signature	Date	

5. Applicant details

Who is the applicant? (Tick one box)

Owner
 Builder
 Other

If 'Other' was selected above, complete the following details:

Applicant's name

Unit no	Street no	Level	Lot no
Street name		Street type	Street suffix
Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

Phone/fax		Phone no	Fax
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BA2

6. Statement by applicant

I understand that a building permit cannot be granted unless:

1. All the prescribed information is provided with this application.
2. All consents or court orders have been obtained if part of a building or incidental structure is proposed to be placed beyond the boundaries of the works land.

Does the proposed work encroach on other land? Yes No

If yes, has consent or a court order been obtained? Yes No

Attach a copy of each consent (form BA20) or court order obtained.

3. All consents or court orders have been obtained if the building work may adversely affect land beyond the boundaries of the works land.

Does the proposed work adversely affect other land? Yes No

If yes, has consent or a court order been obtained? Yes No

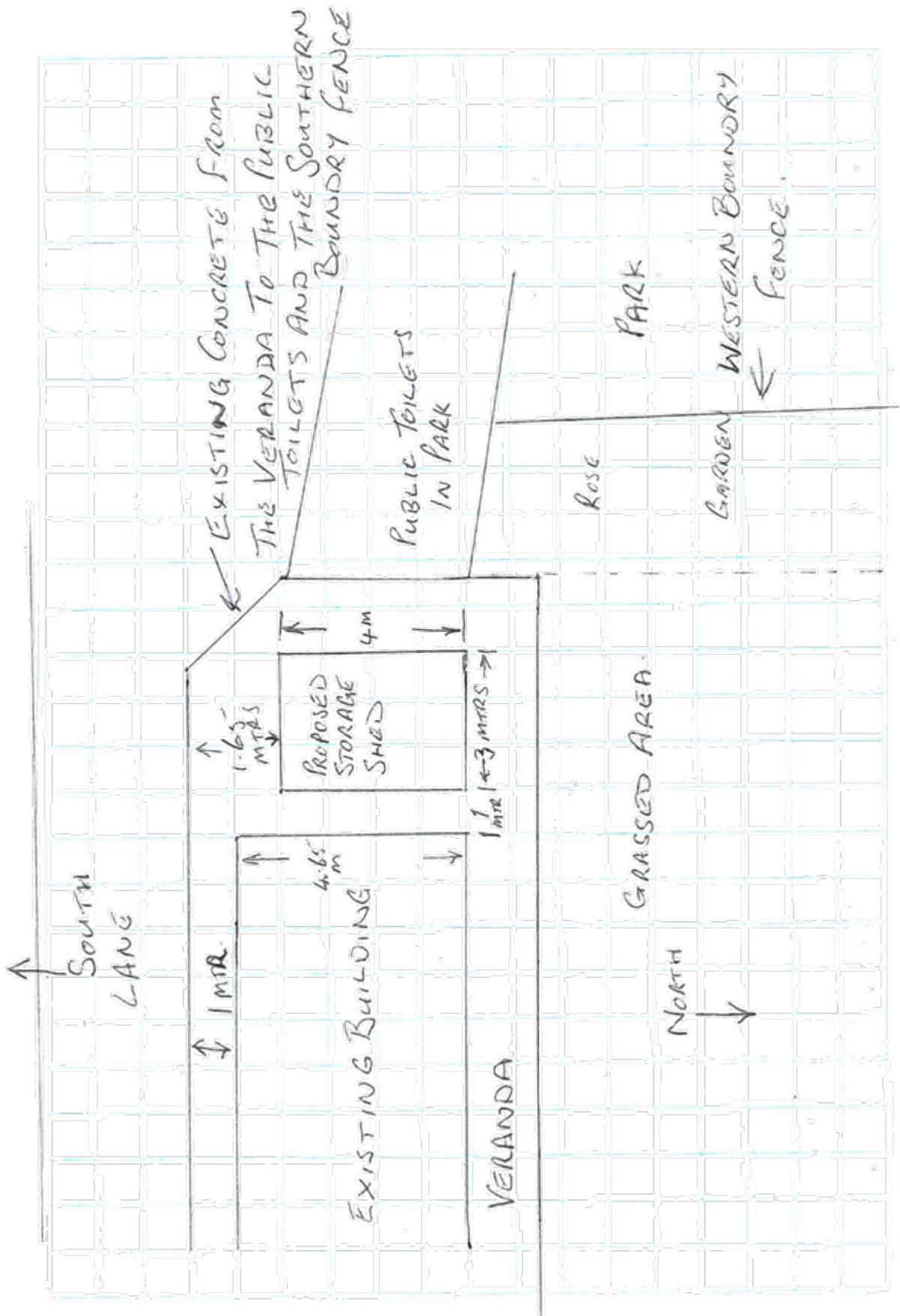
Attach a copy of each consent (form BA20) or court order obtained.

4. If the proposed building work is for a Class 1 or Class 10 building or incidental structure that includes performance solutions to building standards, details have been provided with this application.

Provide details of each performance solution not shown on the plans and specifications.

Applicant's signature

Name (print)	ANN MEAGHER	
Signature	ameagher	Date 07/01/26





STRATCO

Proud supplier of

Colorbond

Stratco Shed Quotation

Domestic | Rural | Industrial



JOB DETAILS

DESIGN NUMBER: SQ348737
DATE: 06/01/2026
SALES PERSON: Graham Mallet

CUSTOMER DETAILS

CLIENT NAME: Coolgardie RLS
CONTACT NO: 0400264225
SITE ADDRESS: 75 Sylvester Street
 Coolgardie
POSTCODE: 6429
EMAIL: coolgardiersl@gmail.com

QUOTATION

QUOTE VALID FOR 30 DAYS

Thank you for the opportunity to prepare a quotation for your next exciting home improvement project. Stratco has a proud history within the steel manufacturing industry, dating back over 75 years. Our commitment to supplying superior products and relentless innovation gives all of our customers the confidence that they are buying from a true industry leader who stand by their products.

Stratco customised sheds are of the highest quality using pre-punched galvanised C-section frames for ease of assembly as well as added strength. Our entire shed range has also been independently tested to meet all current Australian Building Standards giving you the peace of mind that a Stratco shed will stand the test of time.

From our recent consultation, we have prepared the following quotation and attached all relevant details for your design which we believe will suit your needs.

STRATCO SKILLION ROOF SHED

TYPE 1	
Length (mm)	4,000
Width (mm)	3,000
Height (mm)	2,400
Wind Category	N2
Roof Sheet	CG1 0.42 BMT Single Side
Wall Sheet	Superdek Premium Double Side
Footing Type	Pinned (On Concrete)
Roller Doors	1

TOTAL QUOTE INCLUDING 10% GST

\$6,347.02

This quotation is for supply of a Stratco Shed Kit.

Once again, thank you for this opportunity and please give me a call if you would like any additional information.

Kind Regards,

Graham Mallet



Stratco is **100% Australian owned** with over 75 years of manufacturing excellence in quality products across Australia and New Zealand. Stratco Sheds and Garages are custom designed and engineered for Australian conditions.

Domestic • Rural • Industrial



SHEDS - SPECIFICATIONS



Stratco have developed a versatile range of garages to suit every situation. Stratco garages give you more space for storage, extra room for a workshop, provide the ideal space for a boat or caravan, and give you the opportunity to entertain all year round. Stratco has a proud history within the steel manufacturing industry, dating back over 75 years. Our commitment to supplying superior products and relentless innovation gives all of our customers the confidence that they are buying from a true industry leader who stand by their products.

**PLEASE CHECK THAT ALL ORDER DETAILS ARE CORRECT.
YOUR ORDER IS NOW BEING PROCESSED BASED ON THE FOLLOWING DETAILS.**

JOB DETAILS

DESIGN NUMBER: SQ348737

SALES PERSON: Graham Mallett

DELIVERY DETAILS

DELIVERY INSTRUCTIONS:

CUSTOMER DETAILS

CLIENT NAME: Coolgardie RLS

PHONE NUMBER: 0800264225

ACCOUNT CODE: *PPKAL

75 Sylvester Street
Coolgardie

6429

ADDITIONAL INSTRUCTIONS:

TOTAL WEIGHT

572,602 KG

Skillion Frames

End Skillion Column Section GHS Column 1.2 150

End Skillion Rafter Section GHS Rafter 1.2 150

Mid Skillion Column Section GHS Column 1.5 150

Mid Skillion Rafter Section GHS Rafter 1.5 150

Site Details

Wind Speed N2

Roof Details

Roof Fall Direction Right to Left

Roof Pitch 5°

Roof Sheet CG3 0.42 BMT Single Side

Wall Girts

End Wall Girt Section GHS Purlin/Girt 1.20 75

Side Wall Girt Section GHS Purlin/Girt 1.20 75

Footing Details

Concrete Slab Yes

Footing Type Rinned (On Concrete)

Stirrup Type (Single Frame) Type C:Stirrup (Domestic)

Colours

Barge Cap Smooth Cream

Corner Flashing Smooth Cream

Downpipe Smooth Cream

Gutter Smooth Cream

Ridge Cap Smooth Cream

Roller Door Smooth Cream

Roller Door Flashing Smooth Cream

Roof Sheet Smooth Cream

Wall Sheet Primrose

Unit

Shed Type Domestic Skillion

Dimensions (Outside Frames)

Low Side Height 2400mm

High Side Height 2662mm

Length 4000mm

Width 3000mm

Wall Details

Bottom of Wall Sheet Extra 25mm No

Wall Sheet Superdek Premium Double Side

Roof Purlins

Eave Purlin Section GHS Purlin/Girt 1.20 75

Roof Purlin Section GHS Purlin/Girt 1.20 75

Skillion End Columns

End Wall Column Section C: Section 100 X 1.2mm

Drainage Details

Downpipe Downpipe 100x50

Gutter Gutter VF Square

Opening Details

Roller Doors 1

Roller Door Daylight Opening Widths (DLOW)

Refer to Site Plan to confirm all Roller Door Opening Widths.

Roller Door Daylight Opening Heights (DLOH)

All opening heights shown on elevations are an approximation only with dimensions shown taken from bottom of Header Beam to the bottom of wall sheets. If there are any concerns regarding opening heights please request a clearance check prior to ordering.

All Dimensions shown are measured from outside of frame (including purlins and girts).
Dimensions shown are for illustrative purposes only and should not be used for assembly.
Please refer to the relevant installation guides or detailed drawings provided for site preparation, portal frame layout and slab dimensions.

I confirm I have read through all shed detail sheets and accept all colours, sheet profiles, dimensions, door opening widths and heights.

CUSTOMER SIGNATURE: _____

DATE: 06/01/2026



All dimensions shown are measured from outside of frame (including purlins and girts). Dimensions shown are for illustrative purposes only and should not be used for assembly. Please refer to the relevant installation guides or detailed drawings provided for site preparation, portal frame layout and slab dimensions. Please refer to the current Domestic Gable Shed certification referenced 50098 by FYFE Pty Ltd for 15° shed range, certification referenced 2011-628 by RSA for 10° shed range or certification referenced 240500 for 1 - 5° Domestic Skillion Roof Range. Certifications are applicable to standard shed designs only. *Please note Header Beam Height shown is an approximation only and does not represent Final Daylight Opening Height (DLOH) of the Roller Door.



Plan View

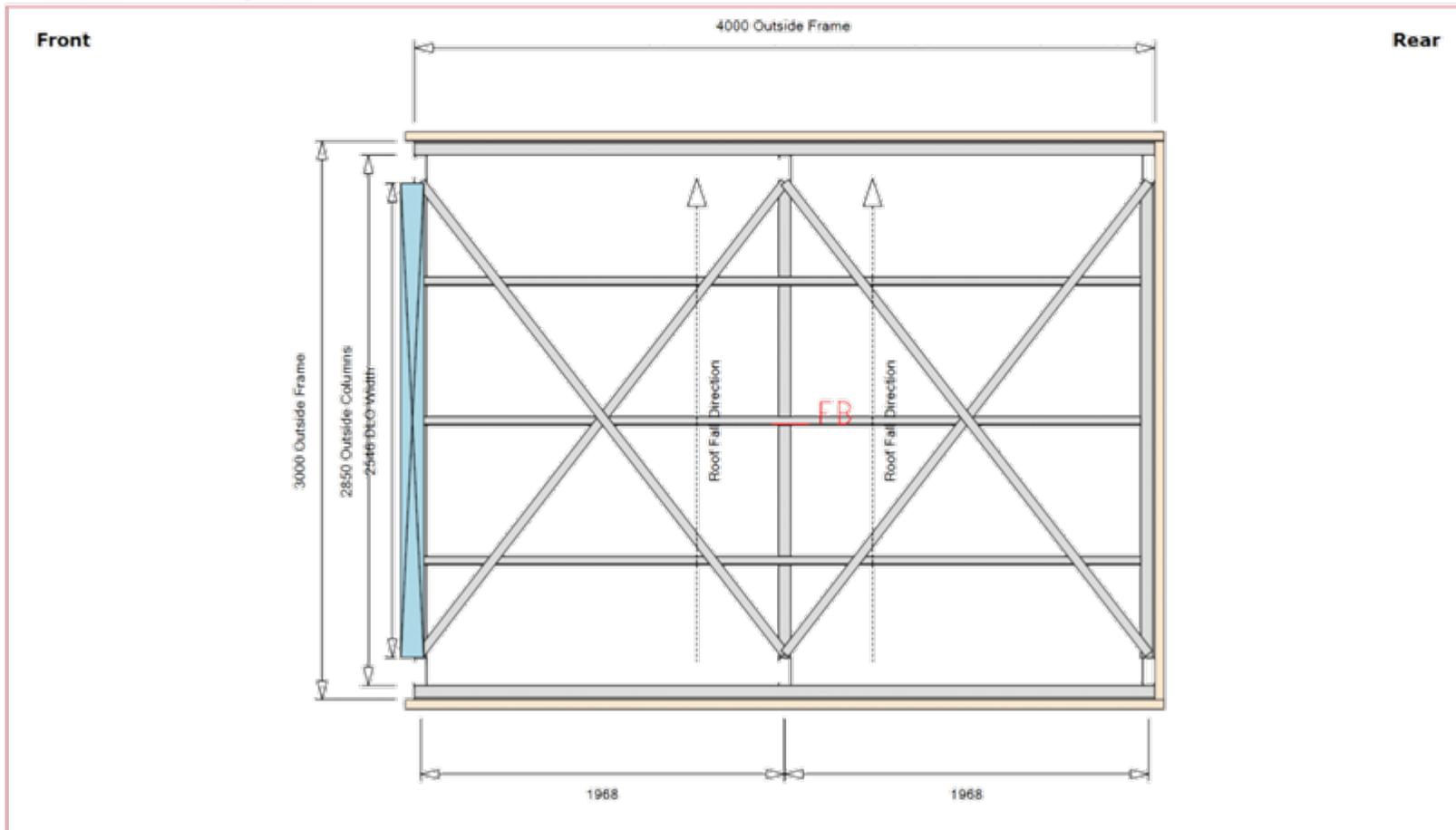
Order Reference
Sales Person
Client Name

Craham Maillet
Coolgardie RLS

Site Address
75 Sylvester Street
Coolgardie

Design Number
Date
SQ348737
06/01/2026

Customer Signature





SHEDS

All dimensions shown are measured from outside of frame (including purlins and girts). Dimensions shown are for illustrative purposes only and should not be used for assembly. Please refer to the relevant installation guides or detailed drawings provided for site preparation, portal frame layout and slab dimensions. Please refer to the current Domestic Gable Shed certification referenced 50098 by FYFE Pty Ltd for 15° shed range, certification referenced 2011-628 by RSA for 10° shed range or certification referenced 240500 for 1 - 5° Domestic Skillion Roof Range. Certifications are applicable to standard shed designs only. *Please note Header Beam Height shown is an approximation only and does not represent Final Daylight Opening Height (DLOH) of the Roller Door.



Elevations

Order Reference
Sales Person
Client Name

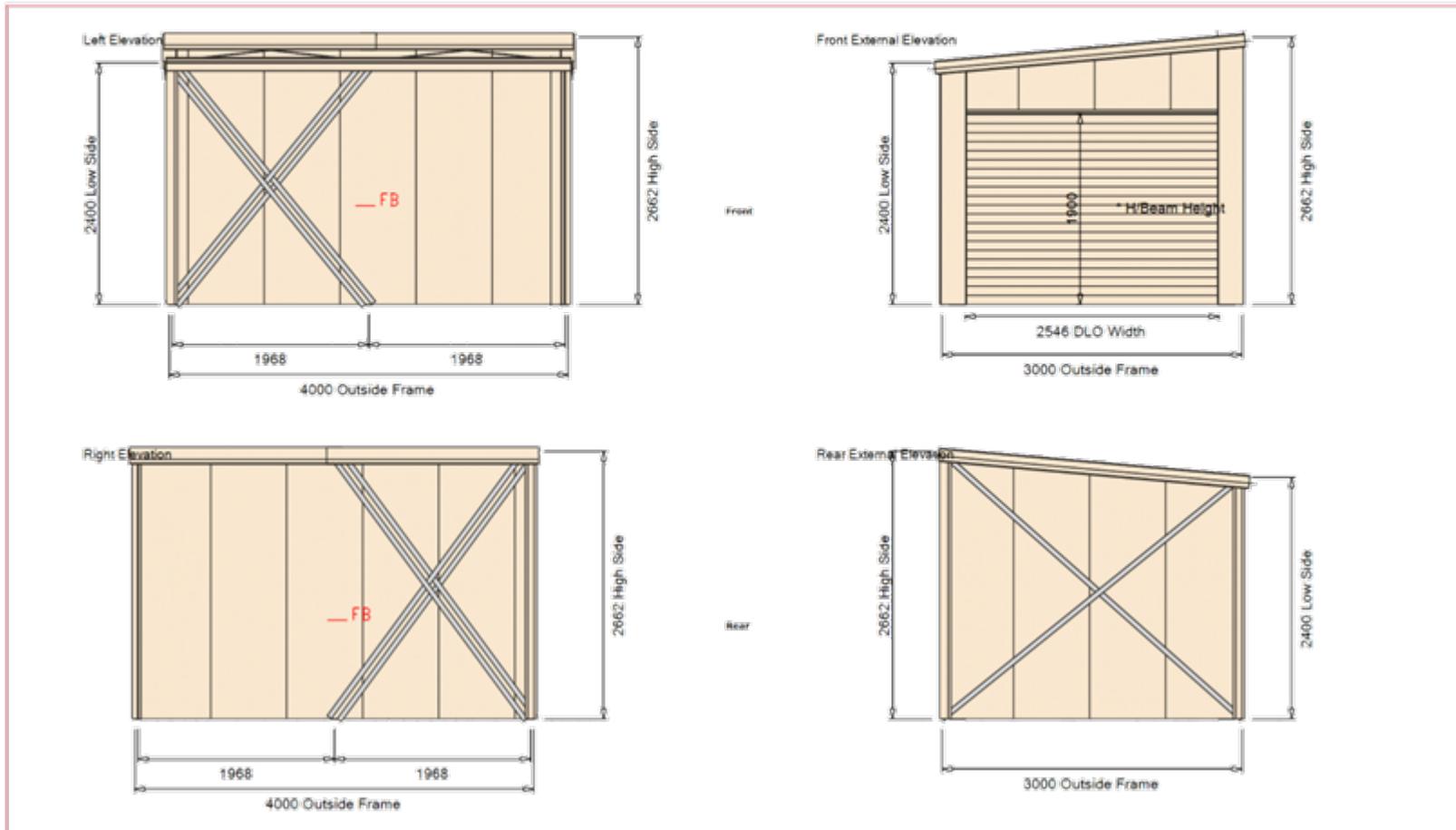
Craham Maillet
Coolgardie RLS

Site Address
75 Sylvester Street
Coolgardie

Design Number
Date

Customer Signature

SQ348737
06/01/2026





SHEDS

All dimensions shown are measured from outside of frame (including purlins and girts). Dimensions shown are for illustrative purposes only and should not be used for assembly. Please refer to the relevant installation guides or detailed drawings provided for site preparation, portal frame layout and slab dimensions. Please refer to the current Domestic Gable Shed certification referenced 50098 by FYFE Pty Ltd for 15° shed range, certification referenced 2011-628 by RSA for 10° shed range or certification referenced 240500 for 1 - 5° Domestic Skillion Roof Range. Certifications are applicable to standard shed designs only. *Please note Header Beam Height shown is an approximation only and does not represent Final Daylight Opening Height (DLOH) of the Roller Door.



Elevations

Order Reference
Sales Person
Client Name

Craham Maillet
Coolgardie RLS

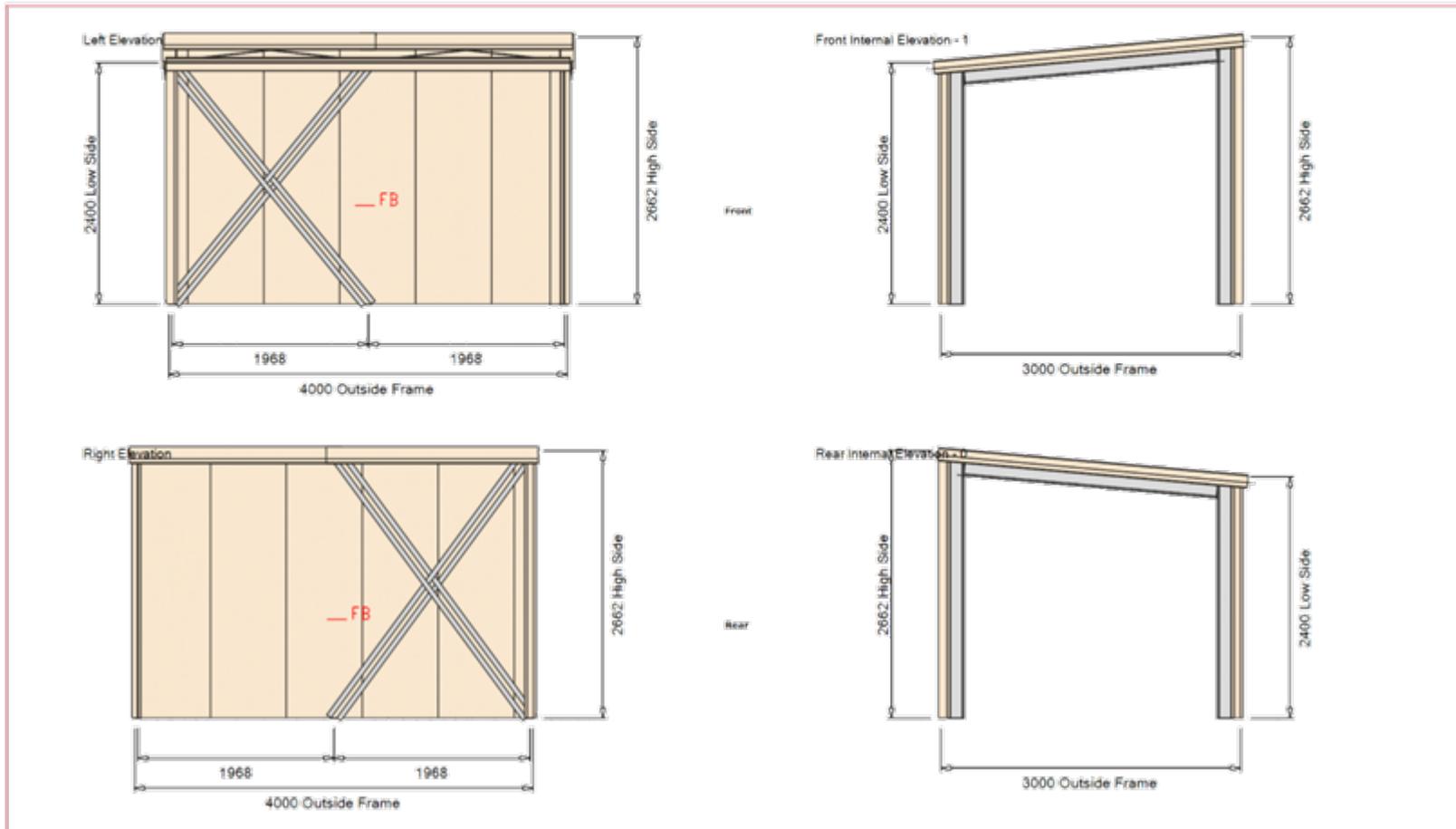
Site Address

75 Sylvester Street
Coolgardie

Design Number
Date

SQ348737
06/01/2026

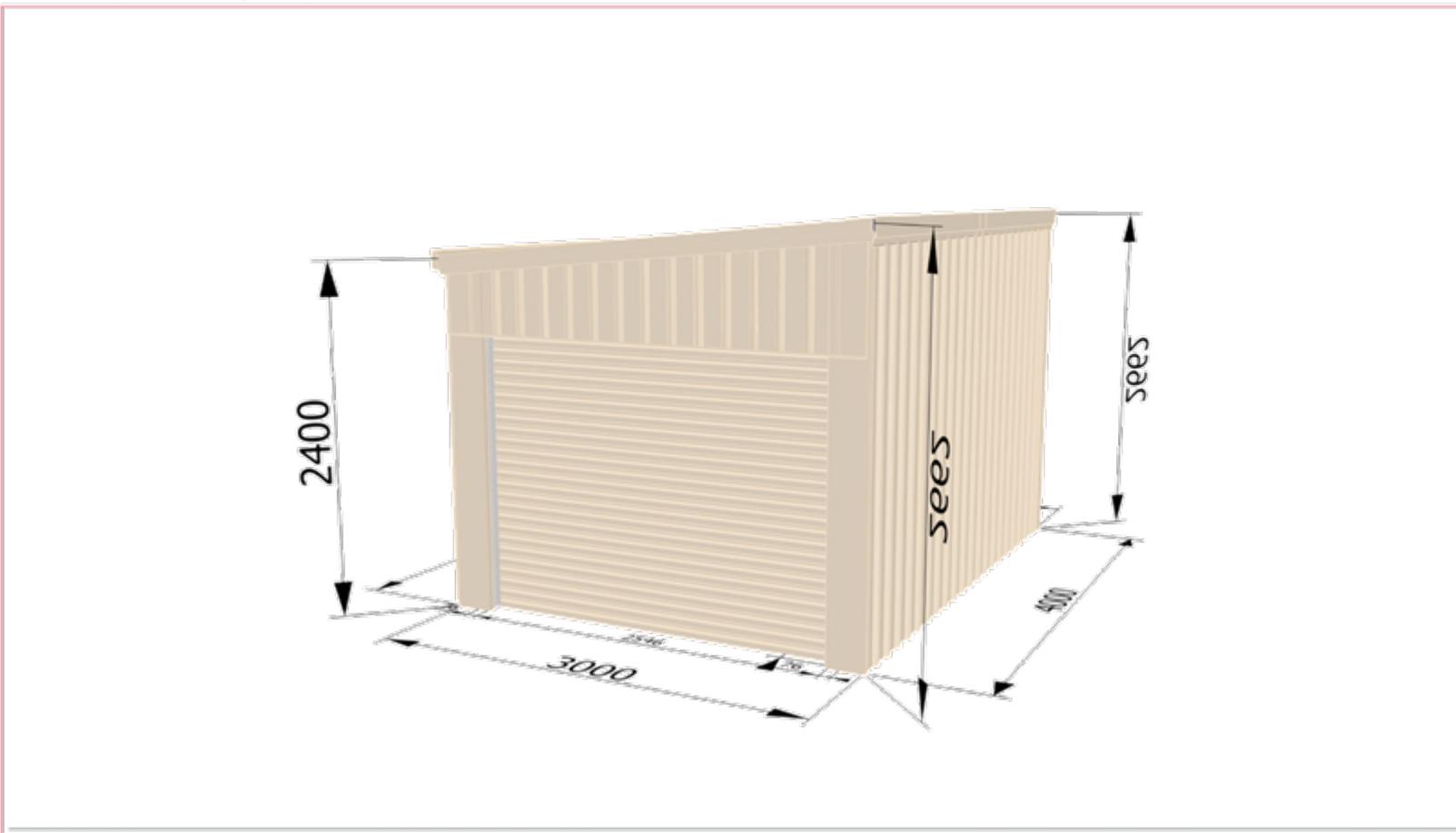
Customer Signature





Current View

Order Reference		Site Address	75 Sylvester Street	Design Number	SQ348737	Customer Signature	
Sales Person	Craham Maillet		Coolgardie	Date	06/01/2026		
Client Name	Coolgardie RLS						





Slab Layout

Order Reference
Sales Person
Client Name

Craham Maillet
Coolgardie RLS

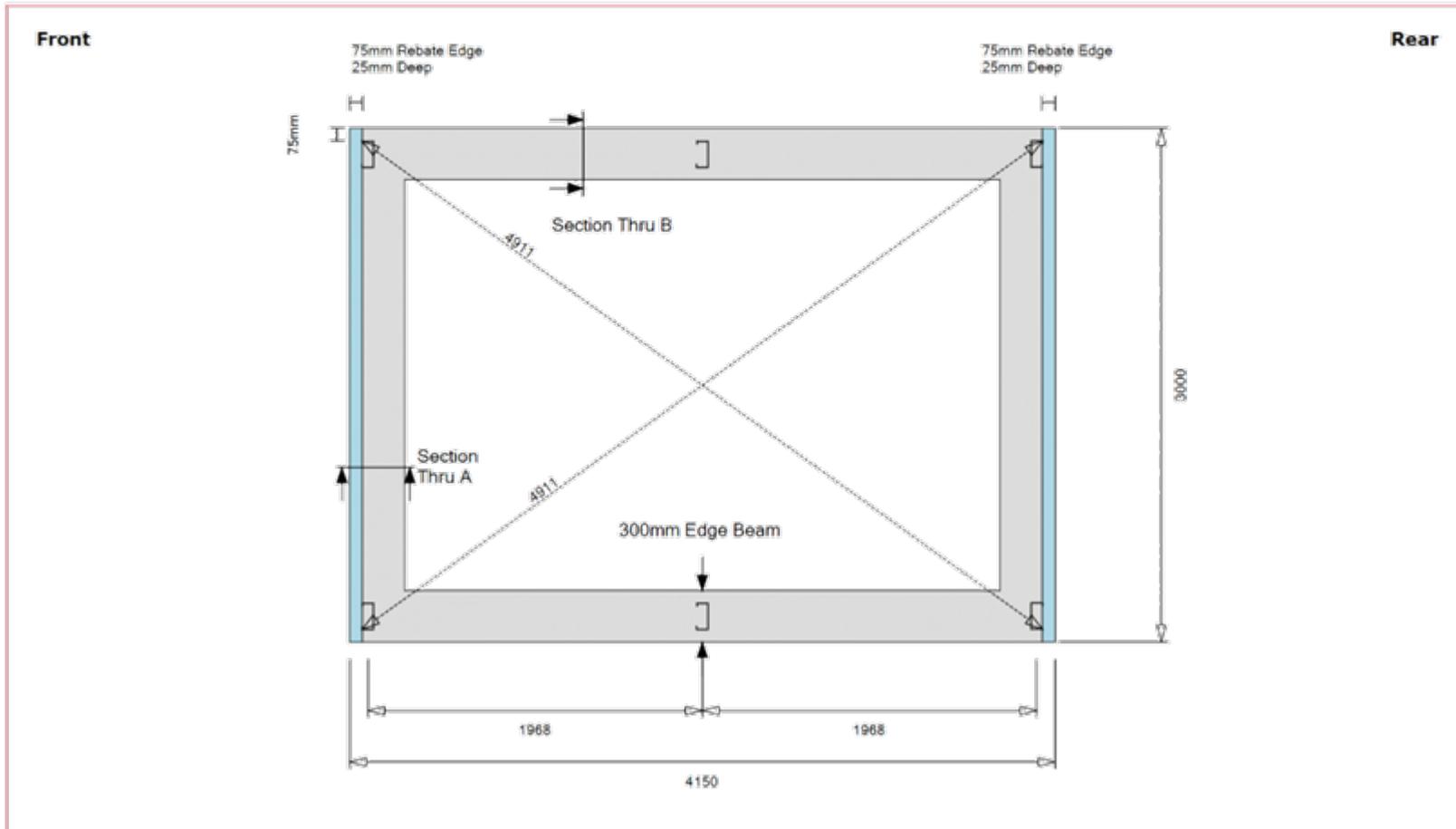
Site Address

75 Sylvester Street
Coolgardie

Design Number
Date

SQ348737
06/01/2026

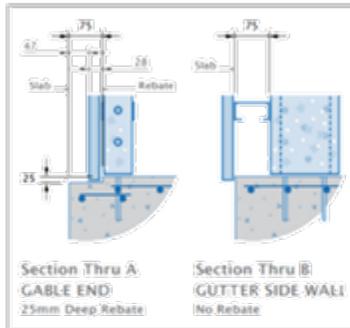
Customer Signature



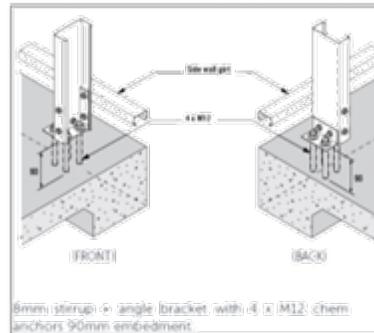


Slab Layout

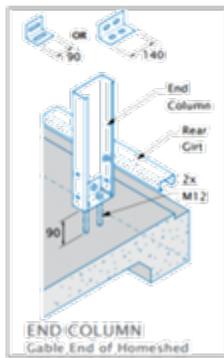
Order Reference	Craham Mallet	Site Address	75 Sylvester Street	Design Number	SQ348737	Customer Signature
Sales Person	Coolgardie RLS		Coolgardie	Date	06/01/2026	
Client Name						



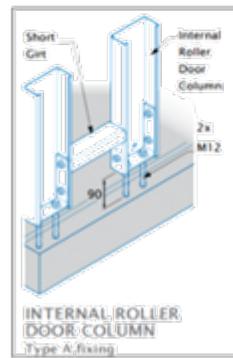
SLAB REBATE DETAIL



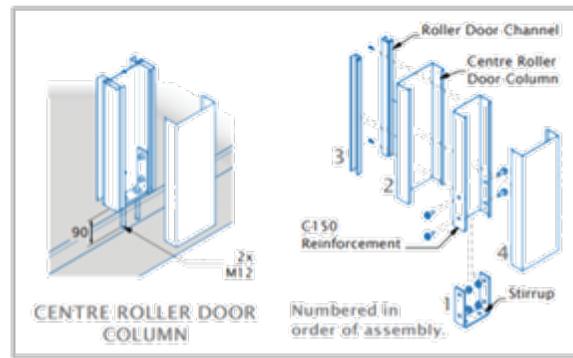
FOOTING TYPE - C (SINGLE FRAME)



SKILLION END COLUMN



INTERNAL ROLLER DOOR COLUMN

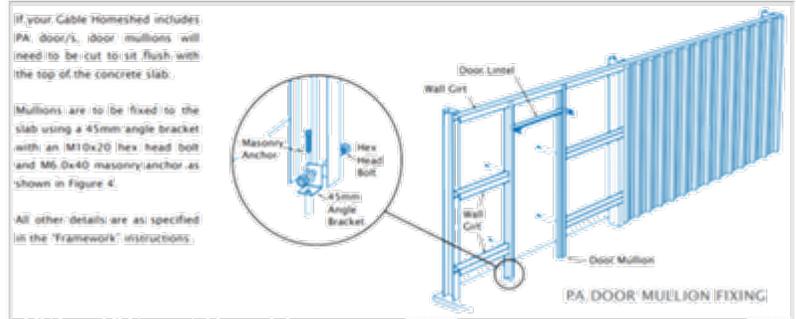


CENTER COLUMN DETAIL (TYPE 2 / DOUBLE DOORS IN SKILLION END)



Slab Layout

Order Reference		Site Address	75 Sylvester Street Coolgardie	Design Number	SQ348737	Customer Signature	
Sales Person	Craham Mallet			Date	06/01/2026		
Client Name	Coolgardie RLS						



PERSONAL ACCESS DOOR



SHEDS - NEXT STEPS



Shed Design & Quotation

Bring your ideas, a rough sketch or dimensions to our Stratco team and they will bring your dreams to life. We can check and review dimensions using satellite imagery before designing and preparing a quotation for you.



Planning and Certifications

Stratco can arrange the relevant paperwork, specifications and engineering ready for the council, building surveyor or certification process depending on what state or territory you reside. We can assist and guide you through this process.



Shed Installation

You can choose to DIY or Stratco can assist with installation and connect you with a recommended installer before confirming an installation date.



Site Preparation

Site preparation for your shed is key. Some important things to consider are:

1. The site needs to be cleared and level. If the ground is uneven or sloped, ensure that the slope height difference does not exceed 150mm.
2. Understanding the soil type is important as it will affect footing sizes.
3. Footings and Concrete Slabs - you can either:
 - (a) Pour concrete first with footings pinned on-to-concrete or alternatively
 - (b) Columns can be fixed in-ground with the concrete slab poured later.



Shed Delivery

We will manufacture your shed in one of our local manufacturing sites in your state or territory and then deliver the shed to site ready for installation.

The Stratco Advantage
Custom Designed • Engineered • Tested



Proud supplier of
Colorbond

Stratco is **100% Australian owned** with over 75 years of manufacturing excellence in quality products across Australia and New Zealand. Stratco Sheds and Garages are custom designed and engineered for Australian conditions.

Domestic • Rural • Industrial



SHEDS - CERTIFICATION



Gama Consulting Pty Ltd
 Suite 3, 83 Fullarton Road
 Kent Town, SA, 5067
 e admin@gamaconsulting.com.au
 p 08 7123 4050
 w www.gamaconsulting.com.au
 ABN 83 607 495 796

20 August 2024

Our Ref: 240500

Stratco (Australia) Pty Ltd
 125 Cavan Road
 GEPPS CROSS, SA 5094

STRATCO 1-5 DEG. SKILLION ROOF SHED

We, Gama Consulting Pty Ltd, practising structural engineers, confirm that we have reviewed the Stratco 1-5 deg. skillion roof shed designs prepared by Stratco (Australia) Pty Ltd as detailed in the following document:

Stratco 1 °-5 °Skillion Roof Shed Span Tables – © May 2024

We hereby certify that the calculations, materials, forms of construction and systems to which the designs relate will, if installed in accordance with relevant Stratco (Australia) Pty Ltd documents, conform to the structural requirements of the National Construction Code NCC 2022 Building Code of Australia – Volume Two, Section H, Part H1, and the following Australian Standards:

- AS/NZS 1170.0:2002 Structural Design Actions – Part 0: General Principles
- AS/NZS 1170.1:2002 Structural Design Actions – Part 1: Permanent, Imposed and Other Actions
- AS/NZS 1170.2:2021 Structural Design Actions – Part 2: Wind Actions
- AS/NZS 4600:2018 Cold-formed Steel Structures
- AS 3600:2018 Concrete Structures
- AS 4100:2020 Steel Structures

Our certification of the Stratco 1-5 deg. skillion roof shed relies on the load test reports, product data sheets and specifications provided by Stratco (Australia) Pty Ltd, and other relevant proprietary product specifications, including relevant structural certifications.

Our certification does not relieve Stratco (Australia) Pty Ltd, as the designer and manufacturer/supplier, of their duty to determine if their products, including its parts and components, are safe and fit for intended purpose.

Specifically excluded from this certificate are site wind speed assessments, site soil conditions, and fabrication detail dimensions.

Matthew Mammone MIEAust NER
 Director

RBP (VIC): PE0002861
 RPEQ (QLD): 18537
 BSP (TAS): 979609393
 BPB (NT): 243890ES



Stratco is proud to support its Sheds and Garages range with a comprehensive **25 Year Structural, 10 Year Paint Finish and 10 Year Life Prior To Perforation Warranty**. Our warranty gives you piece of mind that when purchasing a Stratco Shed and Garage you are buying a quality product supported by one of the largest steel manufacturing companies in Australia.

Structural Integrity

Our entire range of Stratco Sheds and Garages has been independently tested to meet all relevant Australian Building Standards and Building Code of Australia to give you the confidence that a Stratco Shed will stand the test of time.

- ✔ AS/NZS 1170.0 - Structural Design Actions - Part 0: General Principles
- ✔ AS/NZS 1170.1 - Structural Design Actions - Part 1: Permanent, imposed and other actions
- ✔ AS/NZS 1170.2 - Structural Design Actions - Part 2: Wind actions
- ✔ AS 4100 - Steel structures
- ✔ AS/NZS 4600 - Cold-formed steel structures
- ✔ AS 3600 - Concrete structures
- ✔ AS 4055 - Wind Loads for Housing
- ✔ AS 1562.1 - Design and installation of sheet roof and wall cladding
- ✔ N.A.S.H. Standard - Residential and Low-rise Steel Framing - Part 1: Design Criteria



Register your Warranty online at:
www.stratco.com.au/about/about/warranty-registration/

The Stratco Advantage
 Custom Designed • Engineered • Tested

STRUCTURAL
WARRANTY
25
YEAR

PAINT FINISH
WARRANTY
10
YEAR

Proud member of

Stratco is **100% Australian owned** with over 75 years of manufacturing excellence in quality products across Australia and New Zealand. Stratco Sheds and Garages are custom designed and engineered for Australian conditions.

Domestic • Rural • Industrial



SHEDS - COLOURS



Stratco sheds are clad with **COLORBOND® steel** and you can make colour selections from the list below. When reviewing quotes and specifications, you will see the Stratco name or code appear. If you require clarification please speak with the team.



COLORBOND® Steel Colour*	Stratco Code and Colour Name	SA
– Dover White	SO Snowdrift™	☼ 0.28
SF Surfmist	OW Off White	☼ 0.33
CC Classic Cream	CR Smooth Cream	☼ 0.33
PK Paperbark	ME Meirino	☼ 0.43
DU Dune	BI Birch	☼ 0.48
GJ Gully	DD Driftwood	☼ 0.64
JA Jasper	BW Banyan Brown®	☼ 0.67
EH Evening Haze	MV Moss/Vale Sand	☼ 0.43
PE Pale Eucalypt	MG Mist Green	☼ 0.60
CG Cottage Green	CF Caulfield Green	☼ 0.73
MR Manor Red	HR Heritage Red	☼ 0.70
– Southerly	LG Lunar Grey™	☼ 0.40
SH Shale Grey	GG Gull Grey	☼ 0.44
– Bluegum	OC Overcast™	☼ 0.57
WS Windspray	AG Armour Grey	☼ 0.60
WY Wallaby	CB Cobblestone®	☼ 0.64
BJ Basalt	GN Granite®	☼ 0.67
IR Ironstone	DA Dark Stone™	☼ 0.73
DE Deep Ocean	MB Mountain Blue	☼ 0.74
WG Woodland Grey	SG Slate Grey	☼ 0.78
MM Monument	GU Gun Metal Grey	☼ 0.73
NY Night Sky	EB Ebony	☼ 0.95
– Zinalume	AZ Zinc/Al	☼ –

☼ **Solar Absorptance (SA)** is a measure of how much of the sun's heat that a material absorbs. Choosing a colour with a lower SA is a cooler option and may help you meet building regulations such as NCC or BASIX. These are nominal values based on new product and measured in accordance with ASTM E 903-96. Colour coatings come in different grades for different environments and not all colours are available in every grade. Your Stratco design consultant will assist you with the grade and colour availability for your area and your product. Sealfront and industrial areas may require a severe environmental coating.



*COLORBOND® steel colour names listed are trade marks of BlueScope Steel Limited and used only for comparison. The use of colour names in any Stratco document indicates no more than the colour of the product supplied on a colour equivalency. Minor variations in colour can occur and are characteristic of the raw material received by Stratco prior to steel rolling. Colour fading may occur over time. Colours shown on this chart may vary due to the printing process. Accurate colour samples are available in-store. Please see our website for store location details. All brands and logos/images accompanied by ® or ™ are trade marks of Stratco (Australia) Pty Limited. © Copyright February 2024. "Stratco Colour" names are used by Stratco (Australia) Pty Limited to describe the colours which it markets its products.



Using Australian Steel

✔ Stratco

- BlueScope material and **COLORBOND® steel** is available for all garage designs.
- All garages supported with a Stratco Manufacturer's Warranty.
- Over 75 years manufacturing steel
- Stratco garages are independently tested to meet all current building standards.

✘ Competitors

- Not all competitors using BlueScope steel.
- Cannot offer full colour range.
- Warranty is not with the company you purchase from, have to jump through many hoops to resolve.

More Cladding Choices

✔ Stratco

- Stratco offer a variety of cladding thicknesses to provide the customer with a huge range of double or single sided colour options to choose from.
- All cladding and framework material thicknesses are designed, tested and independently engineered in conjunction with current Australian Standards.
- Stratco offers architectural cladding profiles including selected Stratco Hiland Tray standing seam cladding to turn the humble shed into a design statement for your backyard.
- The Stratco engineering team can design your shed to accommodate a variety of cladding types including fibre cement sheeting and brick feature walls designed by others.

✘ Competitors

- Traditionally use one material gauge with potential for colour limitations.

Locally Owned And Manufactured

✔ Stratco

- Stratco has a proud history of manufacturing steel since 1948 and all Garages* are manufactured locally to give you peace of mind.

**Bought in products excluded – Roller Doors, Glass Windows & Doors, etc.*

✘ Competitors

- Often manufacturing Garages in other states and then transport product across thousands of kilometres.
- On occasion will manufacture stock lengths interstate and 'Cut Down' the material locally.
- No local displays, technical support or assistance in some cases where products are manufactured interstate.

Get Your Shed Faster

✔ Stratco

- As Stratco does manufacture locally we are committed to being able to deliver a Garage in the shortest possible time - current manufacturing times are the fastest in the market.

✘ Competitors

- Customers often given 'Rough Dates' when ordering with lead times exceeding 12 weeks very common.



Can Arrange Installation For You

✔ Stratco

- Stratco offers an installation solution for the Garages we sell.
- Estimates completed in store with customer or direct with the installer.
- Recommended Installers with years of experience installing Stratco Garages.
- Installs coordinated by Stratco, not left to the customer to source.

✘ Competitors

- No current offer.
- At best, business cards handed out before commitment with most simply providing a name once a deposit is paid.

Quality Custom Designs & Engineering with Fast Building Approvals

✔ Stratco

- Stratco are proud to have a full set of Garage Span Tables which are independently certified to assist with council approvals, building surveyors and certifiers, as well as give the customer confidence that they are purchasing a quality product.
- Span Tables for standard designs are available on day of purchase so the customer can immediately submit their project for building approval.
- Independent Certification means you are not asked to seek further clarification on the shed structure saving time when seeking building approval.
- Stratco offer engineering for non-standard and custom designs that fall outside of standard span tables, including the relevant state certifications if required.

✘ Competitors

- Engineering often unseen when asking for and not proudly published.
- Independent Certification possibly required due to complete range of designs not checked.
- Building approval may take longer if engineering not provided with the independent certification.
- Lack of Independent Certification could mean engineering is required to be updated to meet all Australian Standards.

Finance Options To Help You Get It Now

✔ Stratco

- Stratco will be able to assist you complete your project by offering an Interest Free Finance Offer with a variety of reputable providers.
- We can assist the customer in store and discuss the options with our trained Team Members.

✘ Competitors

- Interest Free Finance offers not available at all competitors.
- Often simply encouraged to 'get a bank loan' to complete the transaction.

Peace Of Mind With Refundable Deposits

✔ Stratco

- Stratco understand that obtaining council approval is required with a majority of Garage building and that this process can take time. The final approval can be influenced by external factors which is why we offer a 100% refund on all deposits if the project is declined by building approvers and certifiers.

✘ Competitors

- Deposits often not refunded regardless of reason for the project no longer going ahead.

 **SHEDS - ROLLER DOOR MOTORS** 

GDO-8V3 Shedmaster

Weather Resistant Rolling Door Opener.
 Suitable for exposed areas such as carports and perimeter doors, the opener will operate rolling doors up to 100kg.
HB-5317

 INCLUDES 2 REMOTES

GDO-6V3 Easyroller

The predecessor to the GDO-6v4 is a proven performer offering basic, no fuss functionality. It operates rolling doors up to 110kg.
HB-6300

 INCLUDES 2 REMOTES

GDO-6V4 Easyroller Series 2

This trusted opener is the easy choice for the vast majority of residential rolling doors, reliably operating rolling doors up to 110kg.
HB-6292

 INCLUDES 2 REMOTES

GDO-10V3 Toro

Commercial Rolling Door Opener.
 This strong and sophisticated rolling door opener for doors up to a size of 28m² comes with Battery Back Up and Logic Console.
HB-6299

 INCLUDES 2 REMOTES 

WTX-6 4-Button Wall Remote

HB-6293



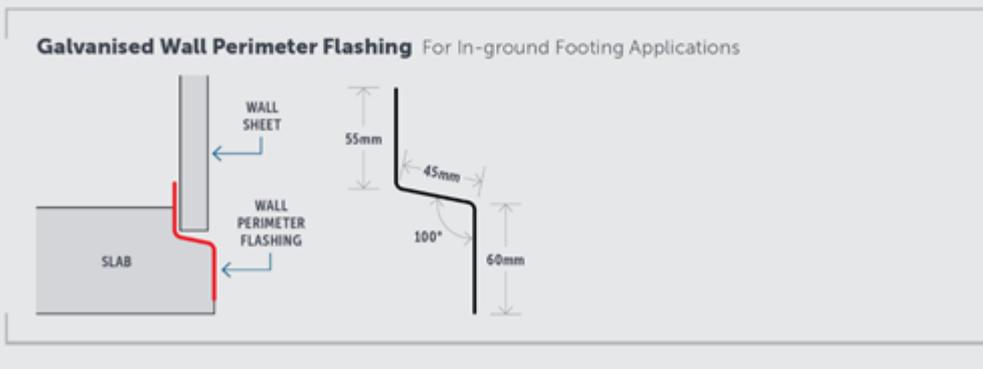
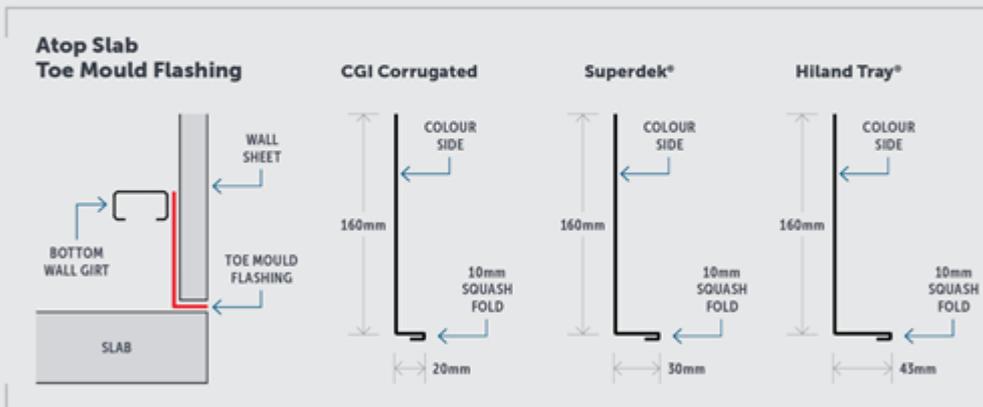
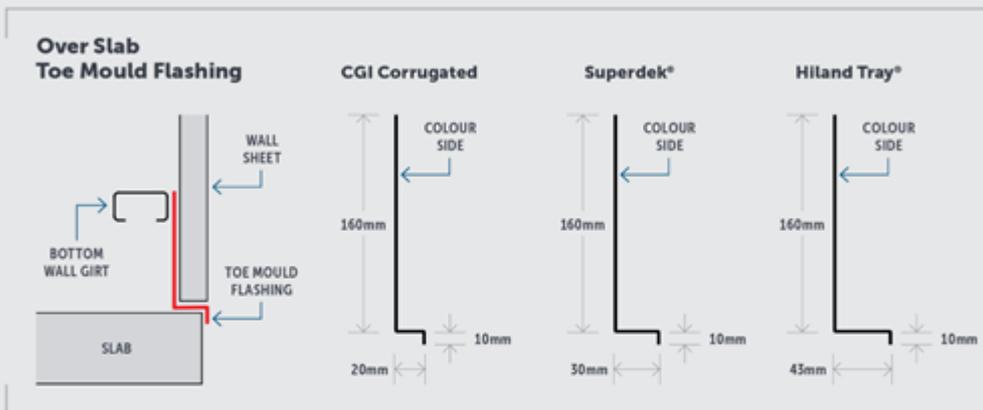
1300 155 155 | stratco.com.au



SHEDS - OPTIONAL FLASHINGS



Optional Weather / Vermin Flashing For Bottom Of Wall Sheets



1300 155 155 | stratco.com.au

**YOU BRING THE DREAM
WE'LL BRING THE
How To.**



**STRATCO 1°-5° SKILLION ROOF SHED
SPAN TABLES**

1°-5° SKILLION ROOF SHED SPAN TABLES

**INTRODUCTORY NOTES****SKILLION ROOF SHED**

Form and function come together in the classic shape of the Skillion Roof Shed. Featuring an extremely practical pitched roof, the Skillion Roof Shed range takes full advantage of the floor space available.

The frame of a Skillion Roof Shed is constructed using strong, galvanised C-section purlins. The shed roof is clad with traditional 0.42mm BMT corrugated steel with single sided colour and comes standard with gutters and downpipes. The wall cladding is Superdek® sheeting which is a durable and hard-wearing sheet due to the 28mm high ribs in its profile. The sheeting on the skillion wall for standard 1°-5° Skillion Sheds is pre-cut to fit the skillion shape for easy installation.

Skillion Roof Sheds are available in a wide range of colours. If the side of the shed is to be built on a boundary, internal box gutters can be ordered. Optional extras include windows, skylights and a personal access door. Roller doors can be fitted with remote controlled door openers and the walls can be ordered in a corrugated profile for a different appearance.

SKILLION ROOF SIZES

1°-5° Skillion Roof Sheds feature five versatile standard width options, based on two single size widths and three double size widths. There are three heights (low side) of 2.4m, 2.7m and 3.0m to choose from.

ENGINEERED FOR STRUCTURAL INTEGRITY

Recognised, independent structural engineers have certified all tests and calculations carried out on the 1°-5° Skillion Roof Shed range. This is your guarantee of structural integrity. 1°-5° Skillion Roof Sheds of all sizes and styles are suitable for use in wind speed areas of N1, N2 and N3. 1°-5° Skillion Roof Sheds are designed for non-cyclonic areas.

1°-5° SKILLION ROOF SHED SPAN TABLES

CONTENTS

Introductory Notes	ii
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1°-5° SKILLION ROOF SHED SPAN TABLES

INDEPENDENT ENGINEERING CERTIFICATION



20 August 2024
Our Ref: 240500

Stratco (Australia) Pty Ltd
125 Cavan Road
GEPPS CROSS, SA 5094

STRATCO 1-5 DEG. SKILLION ROOF SHED

We, Gama Consulting Pty Ltd, practising structural engineers, confirm that we have reviewed the Stratco 1-5 deg. skillion roof shed designs prepared by Stratco (Australia) Pty Ltd as detailed in the following document:

Stratco 1°-5° Skillion Roof Shed Span Tables – © May 2024

We hereby certify that the calculations, materials, forms of construction and systems to which the designs relate will, if installed in accordance with relevant Stratco (Australia) Pty Ltd documents, conform to the structural requirements of the National Construction Code NCC 2022 Building Code of Australia – Volume Two, Section H, Part H1, and the following Australian Standards:

- AS/NZS 1170.0:2002 Structural Design Actions – Part 0: General Principles
- AS/NZS 1170.1:2002 Structural Design Actions – Part 1: Permanent, Imposed and Other Actions
- AS/NZS 1170.2:2021 Structural Design Actions – Part 2: Wind Actions
- AS/NZS 4600:2018 Cold-formed Steel Structures
- AS 3600:2018 Concrete Structures
- AS 4100:2020 Steel Structures

Our certification of the Stratco 1-5 deg. skillion roof shed relies on the load test reports, product data sheets and specifications provided by Stratco (Australia) Pty Ltd, and other relevant proprietary product specifications, including relevant structural certifications.

Our certification does not relieve Stratco (Australia) Pty Ltd, as the designer and manufacturer/supplier, of their duty to determine if their products, including its parts and components, are safe and fit for intended purpose.

Specifically excluded from this certificate are site wind speed assessments, site soil conditions, and fabrication detail dimensions.

Matthew Mammone MIEAust NER
Director

RBP (VIC): PE0002861
RPEQ (QLD): 18537
BSP (TAS): 979609393
BPB (NT): 243890ES

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1°-5° SKILLION ROOF SHED SPAN TABLES

GENERAL NOTES

1. Stratco's range of Skillion Roof Sheds are designed with standard shed dimensions shown in the table below:

SHED WIDTH (OUTSIDE FRAME DIMENSIONS) (mm)	3103	3865	5389	6151	6913
MAXIMUM SHED LENGTH (OUTSIDE FRAME DIMENSIONS) (mm)	9214				
MAXIMUM LOW SIDE HEIGHT (mm)	3000				
MAXIMUM CENTRE-TO-CENTRE FRAME SPACING (BAY WIDTH) (mm)	3050				
MINIMUM CENTRE-TO-CENTRE FRAME SPACING (BAY WIDTH) (mm)	2100				
MAXIMUM NUMBER OF BAYS	3				
MINIMUM NUMBER OF BAYS	2				

NOTE: For shed width > length, engineering is required. Contact Stratco for advice.

2. The structural components used comply with the following Australian Standards:

- Beam and Column sections are cold-rolled from hi-tensile steel, conforming to AS 1397.
- Hot rolled plate conforms to AS/NZS 3678.
- Roof sheeting complies with AS 1397.
- Bolts are minimum grade 8.8/S and comply with AS/NZS 1252.1, AS 1110.1 and AS 1111.1.
- Self-drilling screws comply with AS 3566.1. Screws shall be installed minimum 16mm away from any other screw, and from any edge of the materials being fixed (including brackets).
- All other proprietary products to be in accordance with the manufacturer's recommendations.

3. The testing and design of structural members comply with the following Australian Standards:

- Structural Design Actions, AS/NZS 1170.0. - General Principles.
- Structural Design Actions, AS/NZS 1170.1. - Permanent, Imposed and Other Actions.
- Structural Design Actions, AS/NZS 1170.2. - Wind Actions.
- Wind Loads for Housing, AS 4055.
- Cold Formed Steel Structures, AS/NZS 4600.
- Steel Structures, AS 4100.

- Concrete Structures, AS 3600.
 - Design and Installation of Sheet Roof and Wall Cladding, AS 1562.1.
4. Connection details shall be in accordance with the relevant standard Stratco connection details contained in these span tables. Refer to the latest relevant Stratco Gable Roof Shed Installation Guides for the recommended safe erection procedures.
5. The roof cladding and supporting structural members are designed to withstand actions incidental to maintenance only. Roofs are not to be used for floor type activities.
6. The designs contained within these span tables have been developed to the requirements of AS/NZS 1170.2, and have been presented using AS 4055 equivalent wind classifications N1, N2 and N3.
7. These span tables are applicable to both wind-rated and non wind-rated roller doors. It is the responsibility of the door manufacturer to comply with Australia Standards and supply door/s fit for application. Refer to the tables below for doors applicable to wind rated door tables.

WIND RATED ROLLER DOORS MANUFACTURED BY STRATCO		
WIND CLASSIFICATION	MAX. DAYLIGHT OPENING WIDTH (mm) FOR 25mm GUIDE TRACKS	MAX. DAYLIGHT OPENING WIDTH (mm) FOR 50mm GUIDE TRACKS
N1	3390	4000
N2	2510	3180
N3	N/A	N/A

WIND RATED ROLLER DOORS MANUFACTURED BY B&D			
DOOR MODEL	WIND CLASSIFICATION	MAX. DAYLIGHT OPENING WIDTH (mm) FOR 25mm GUIDE TRACKS	MAX. DAYLIGHT OPENING WIDTH (mm) FOR 50mm GUIDE TRACKS
SERIES 1 WITH 0.4mm BMT DOOR CURTAIN	N1	2195	N/A
	N2	1930	
	N3	1415	
SERIES 2 WITH 0.4mm BMT DOOR CURTAIN	N1	N/A	3275
	N2		2475
	N3		N/A
SERIES 2 WITH 0.5mm BMT DOOR CURTAIN	N1	N/A	4010
	N2		3335
	N3		2005
SERIES 3 WITH 0.4mm BMT DOOR CURTAIN	N1	N/A	2935
	N2		1990
	N3		N/A
SERIES 3 WITH 0.5mm BMT DOOR CURTAIN	N1	N/A	3895
	N2		3195
	N3		N/A

8. Wind-rated roller doors are defined as roller doors that are within the maximum daylight opening width deemed to be structurally sufficient under certain wind classifications.

- 9. The maximum daylight opening widths deemed to be structurally sufficient, for different roller door manufacturers, are shown in tables above (Data for roller doors not manufactured by Stratco are from manufacturers' published documents). For other door manufacturers, please refer to manufacturers' published data.
- 10. This booklet is produced in the interest of customer education and good consumer relations and should be read in conjunction with the Stratco Selection, Use and Maintenance brochure. Users should satisfy themselves that they are using the correct materials, approach and techniques. Correct maintenance is considered an essential part of maintaining structural integrity of Stratco Verandah, Patio & Carport products.
- 11. Stratco takes no responsibility for any misinterpretation of the detail provided or omissions. These tables are subject to change without notice. Users should satisfy themselves that they are using the most up to date information available.
- 12. Chemical Anchor Stud specification in this span table shall be made from minimum Grade 5.8 Carbon Steel or A4/316 Stainless Steel, with typical engineering properties as shown below:
- 13. For reinforced columns into concrete the reinforcing section shall have the same embedment into concrete footing as the column.
- 14. All C-sections are minimum G450 grade steel, refer Stratco Purlins & Girts Design Guide for further details. All SHS and RHS sections are minimum C350 grade steel. All strap braces must be G300 grade steel.
- 15. Where strap braces are doubled in the same bay, they shall be installed side-by-side only. Strap braces shall not be installed on top of each other.
- 16. For 6151 sheds and wider, fly bracing not to exceed 2400mm spacing.
- 17. PA door mullions shall be supported by concrete base and the top wall girt.
- 18. This Span Table covers sheds in corrosivity zones up to Category C3 (medium) as defined in AS 4312 when the shed is maintained in accordance with the Stratco Selection, Use and Maintenance brochure. For sheds in corrosivity zones higher than Category C3, refer to the Stratco Severe Environment Maintenance brochure and contact Stratco for further advice.
- 19. Stratco does not accept liability for any loss or damage suffered as a result of any errors in the interpretation of these span tables.

CHEMICAL ANCHOR STUD THREAD SIZE	GRADE 5.8 CARBON STEEL		A4/316 STAINLESS STEEL	
	YIELD STRENGTH fy (Mpa)	ULTIMATE TENSILE STRENGTH fu (Mpa)	YIELD STRENGTH fy (Mpa)	ULTIMATE TENSILE STRENGTH fu (Mpa)
M12	430	540	450	650
M16	420	520	450	650
M20	420	520	450	650

CHEMICAL ADHESIVE REQUIREMENTS SHALL BE IN ACCORDANCE WITH RAMSET CHEMSET 101 PLUS CHEMICAL INJECTION ANCHORING OR EQUIVALENT.
 CENTRE OF CHEMICAL ANCHOR TO CONCRETE EDGE DISTANCE SHALL BE MINIMUM 50MM OR IN ACCORDANCE WITH RAMSET SPECIFICATION, WHICH EVER PROVIDES THE GREATER EDGE DISTANCE.
 CHEMICAL ANCHORS SHALL BE INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

- 13. For reinforced columns into concrete the reinforcing section shall have the same embedment into concrete footing as the column.
- 14. All C-sections are minimum G450 grade steel, refer Stratco Purlins & Girts Design Guide for further details. All SHS and RHS sections are minimum C350 grade steel. All strap braces must be G300 grade steel.
- 15. Where strap braces are doubled in the same bay, they shall be installed side-by-side only. Strap braces shall not be installed on top of each other.
- 16. For 6151 sheds and wider, fly bracing not to exceed 2400mm spacing.

1°-5° SKILLION ROOF SHED SPAN TABLES

ALLOWABLE DOOR COMBINATIONS

SKILLION ROOF SHED RANGE					
WIND RATED			NON-WIND RATED		
SIDE DOOR(S)		END DOOR(S)	SIDE DOOR(S)/OPENING(S)		END DOOR(S)/OPENING(S)
N1	--- ✓ ---	N1	N1	--- ✓ ---	N1
N2	--- X ---	N2	N2	--- ✓ ---	N2
N3	--- X ---	N3	N3	--- ✓ ---	N3

NOTES & REQUIREMENTS

Door(s)/opening(s) are not to be located in any bay(s)/End(s) in which bracing is required.

1. Skillion roof shed with combination of side door(s)/ opening(s) + end door(s)/opening(s) are feasible if the above conditions are met (i.e tick). Maximum section sizes from sets of tables (side roller door(s)/opening(s) + end roller door(s)/ opening(s)) are required.
2. Bracing requirements shall be then taken from all relevant tables when door(s) are located in side(s) and end(s).
3. If the door(s)/opening(s) combination doesn't follow either end door(s)/opening(s) or side door(s)/opening(s) structural requirements, then engineering is required. Refer to Stratco for advice.

EXAMPLE 1

WIND SPEED: N2
 COLUMNS: ONTO CONCRETE
 SIZE: 3000(H) X 6151 (W) X 6164 (L)

OPENING(S) / DOOR(S) REQUIREMENTS:

- (1) Skillion end roller door
- (2) 1/Roller door on high/side + PA Door
- (3) 1/Roller door on low-side + window

N2 - SIDE OPENING(S)/DOOR(S): NON-WIND RATED

N2 - END OPENING(S)/DOOR(S): WIND RATED

Therefore non-wind rated category shall be picked as the critical case.

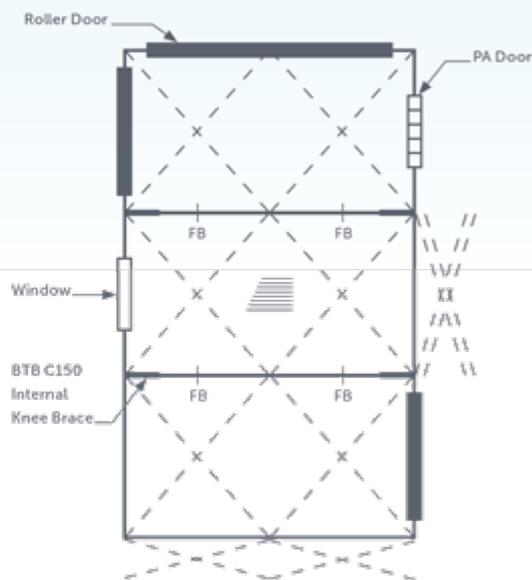
STRUCTURAL & BRACING REQUIREMENTS FOR EACH SIDE AND END OPENING(S)/DOOR(S):

REFER TO TABLE 8 - skillion end roller door(s)/opening(s), non-wind rated, onto concrete (Page 13);

TABLE 10 - High side roller door(s)/opening(s), non-wind rated, onto concrete (Page 15); and

TABLE 12 - Low side roller door(s)/opening(s), non-wind rated, onto concrete (page 17).

EXAMPLE 1 DIAGRAM



BRACING REQUIREMENTS

SINGLE BRACE



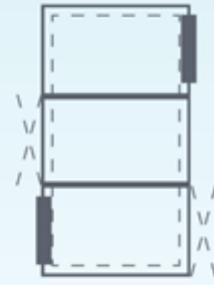
DOUBLE BRACE, D



WALL BRACE



1 SIDE



2 SIDES

SINGLE SET OF CROSS BRACING



1 SET OF BRACE

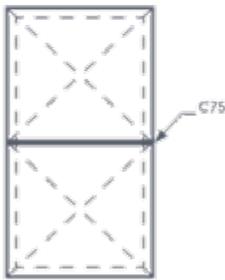


ON 1 SKILLION END



ON BOTH SKILLION ENDS

DOUBLE SET OF CROSS BRACING



CORRECT



INCORRECT

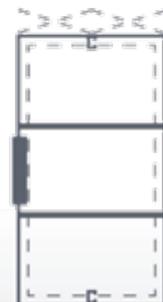


ON 1 SKILLION END

2 SETS OF BRACE



ON 1 SKILLION END



ON BOTH SKILLION ENDS
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(A.C.N. 607 550 754)

NOTES & REQUIREMENTS

1. Where strap bracing is required the angle of single set cross brace shall be between 30° - 60°.
2. Where a single set of cross brace falls outside of this angle range, a double set of cross bracing shall be applied in order to maintain the required brace efficiency.
3. Where a double set of cross brace is used the cross brace shall be attached to the column/rafter as close as possible to a C75 purlin/girt.

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 1

FRAME SIZE: SKILLION END ROLLER DOOR(S), WIND-RATED, INTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	30x0.8	-	-	-
		3865	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	30x0.8	-	-	-
		5389	C15024	C15012	C15024	C15012	C10012	STANDARD C100 FOLDED	30x0.8	-	-	-
		6151	BTB C15015	C15012	BTB C15015	C15012	C10012	STANDARD C100 FOLDED	30x0.8	-	-	-
	6913	BTB C15019	C15012	BTB C15019	C15012	C10012	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
	2700	3103	C15012	C15012	C15019	C15012	-	STANDARD C100 FOLDED	30x0.8	-	-	-
		3865	C15015	C15015	C15019	C15015	-	STANDARD C100 FOLDED	30x0.8	-	-	-
		5389	C15024	C15012	C15024	C15012	C10015	STANDARD C100 FOLDED	30x0.8	-	-	-
		6151	BTB C15015	C15012	BTB C15015	C15012	C10012	STANDARD C100 FOLDED	30x0.8	-	-	-
	6913	BTB C15019	C15012	BTB C15019	C15012	C10012	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	-	
	3000	3103	C15015	C15015	C15024	C15015	-	STANDARD C100 FOLDED	30x0.8	-	-	-
		3865	C15019	C15019	C15024	C15019	-	STANDARD C100 FOLDED	30x0.8	-	-	-
5389		C15024	C15015	C15024	C15015	C10015	STANDARD C100 FOLDED	30x0.8	-	-	-	
6151		BTB C15015	C15015	BTB C15015	C15015	C10019	STANDARD C100 FOLDED	30x1.0	-	-	-	
6913	BTB C15019	C15015	BTB C15019	C15015	C10019	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	-		
N2	2400	3103	C15012	C15012	C15015	C15015	-	STANDARD C100 FOLDED	32x1.2	32x1.2*	32x1.2@	-
		3865	C15019	C15019	C15019	C15019	-	STANDARD C100 FOLDED	32x1.2	D 32x1.2*	32x1.2@	-
		5389	BTB C15015	C15015	BTB C15015	C15015	C10012	STANDARD C100 FOLDED	30x0.8	-	-	-
		6151	BTB C15019	C15015	BTB C15019	C15015	C10019	STANDARD C100 FOLDED	30x1.0	-	-	-
	6913	BTB C15024	C15015	BTB C15024	C15015	C15012	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
	2700	3103	C15015	C15015	C15019	C15019	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		3865	C15019	C15019	C15019	C15019	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		5389	BTB C15015	C15015	BTB C15015	C15015	C10015	STANDARD C100 FOLDED	30x1.0	-	-	-
		6151	BTB C15019	C15019	BTB C15019	C15019	C15015	STANDARD C100 FOLDED	32x1.2	-	-	-
	6913	BTB C15024	C15019	BTB C15024	C15019	C15015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
	3000	3103	C15015	C15015	C15019	C15019	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		3865	C15024	C15024	C15024	C15024	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
5389		BTB C15015	C15019	BTB C15015	C15019	C15012	STANDARD C100 FOLDED	32x1.2	-	-	-	
6151		BTB C15019	C15019	BTB C15019	C15019	C15015	STANDARD C100 FOLDED	32x1.2	-	-	-	
6913	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-		

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOORS MAY BE LOCATED IN BOTH ENDS, BUT MUST NOT INTERFERE WITH BRACING IF REQUIRED.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#
ROOF FULLY BRACED	@
SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*
SIDES	
SHEDS WITH AN END WALL DOOR(S), REQUIRE ONE BAY @ EACH SIDE TO BE BRACED	



TABLE 2

FRAME SIZE: SKILLION END ROLLER DOOR(S), WIND-RATED, ONTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15012	C15012	-	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		3865	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		5389	C15024	C15012	C15024	C15012	C10012	STANDARD C100 FOLDED	D 32x1.2	32x1.2*	32x1.2@	-
		6151	BTB C15015	C15015	BTB C15015	C15015	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15012	BTB C15019	C15012	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15015	BTB C15019	C15015	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
	2700	3103	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		3865	C15015	C15015	C15019	C15015	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		5389	C15024	C15012	C15024	C15012	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		6151	BTB C15015	C15015	BTB C15015	C15015	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15015	BTB C15019	C15015	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15015	BTB C15019	C15015	C10012	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
	3000	3103	C15015	C15015	C15019	C15015	-	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		3865	C15015	C15015	C15019	C15019	-	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@	-
		5389	C15024	C15015	C15024	C15015	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6151	BTB C15015	C15015	BTB C15015	C15015	C10015	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15019	BTB C15019	C15019	C10015	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
		6913	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	D 32x1.2	D 32x1.2*	32x1.2@ ¹	-
N2	2400	3103	C15015	C15015	C15015	C15015	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		3865	C15024	C15024	C15024	C15024	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		5389	BTB C15015	C15012	BTB C15015	C15012	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-
		6151	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15024	BTB C15024	C15024	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15024	BTB C15024	C15024	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
	2700	3103	C15015	C15015	C15015	C15015	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		3865	C15024	C15024	C15024	C15024	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		5389	BTB C15015	C15015	BTB C15015	C15015	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6151	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15024	BTB C15024	C15024	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15024	BTB C15024	C15024	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
	3000	3103	C15015	C15015	C15019	C15015	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@ ¹	-
		3865	C15024	C15019	C15024	C15019	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@ ¹	-
		5389	BTB C15015	C15015	BTB C15015	C15015	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6151	BTB C15019	C15015	BTB C15019	C15015	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15015	BTB C15024	C15015	C10024	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-
		6913	BTB C15024	C15015	BTB C15024	C15015	C10024	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL. INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE (I.E NO ADJACENT OPENING/ROLLER DOOR).
- DOORS MAY BE LOCATED IN BOTH ENDS, BUT MUST NOT INTERFERE WITH BRACING IF REQUIRED.

ROOF	
ROOF FULLY BRACED	⊗
ROOF FULLY BRACED: END ROOF BAY OPPOSITE END TO ROLLER DOOR(S) SHALL BE 50x1.6MM	⊗ ¹

SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*
2 SETS OF BRACE ON 1 SKILLION END	Λ

SIDES
SHEDS WITH END WALL DOOR(S) REQUIRE ONE BAY ON EACH SIDE TO BE BRACED

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 3

FRAME SIZE: HIGH SIDE ROLLER DOOR(S), WIND-RATED, INTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15015	C15015	N/A	C7512	30x0.8	-	30x0.8#	-
		3865	C15012	C15012	C15012	C15012	N/A	C7512	30x0.8	-	30x0.8#	-
		5389	C15019	C15012	C15019	C15012	C10012	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15015	C15024	C15015	C10015	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15015	C15015	BTB C15015	C15015	C15012	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15015	C15015	N/A	C7512	30x0.8	-	30x0.8#	-
	2700	3865	C15012	C15012	C15015	C15012	N/A	C7512	30x0.8	-	30x0.8#	-
		5389	C15019	C15015	C15019	C15015	C10015	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15019	C15024	C15019	C10019	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15015	C15019	BTB C15015	C15019	C15015	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15024	C15019	N/A	C7512	30x0.8	-	30x0.8#	-
		3865	C15012	C15012	C15019	C15015	N/A	C7512	30x0.8	-	30x0.8#	-
	3000	5389	C15024	C15019	C15024	C15019	C10019	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15019	C15024	C15019	C10024	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15015	C15019	BTB C15015	C15019	C15015	C7512	30x0.8	-	30x0.8#	-

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BRACING IF REQUIRED.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#

SIDES	
SHEDS WITH SIDE WALL DOOR(S), REQUIRE ONE BAY BRACED ON THE OPPOSITE SIDE-WALL	



TABLE 4

FRAME SIZE: HIGH SIDE ROLLER DOOR(S), WIND-RATED, ONTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	32x1.2*	32x1.2@	-
		3865	C15012	C15015	C15012	C15012	-	C7512	32x1.2	32x1.2*	32x1.2@	-
		5389	C15019	C15012	C15019	C15012	C10012	C7512	D 30x0.8	D 30x0.8**	30x0.8@	-
		6151	BTB C15012	C15012	BTB C15012	C15012	C10012	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-
		6913	BTB C15015	C15012	BTB C15015	C15012	C10012	C7512	30x1.0	D 30x1.0**	30x1.0@	-
		3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	D 32x1.2*	32x1.2@	-
	2700	3865	C15012	C15015	C15012	C15012	-	C7512	32x1.2	D 32x1.2*	32x1.2@	-
		5389	C15024	C15012	C15024	C15012	C10012	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-
		6151	BTB C15012	C15012	BTB C15012	C15012	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-
		6913	BTB C15015	C15012	BTB C15015	C15012	C10015	C7512	32x1.2	D 32x1.2**	32x1.2@	-
		3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	D 32x1.2*	32x1.2@	-
		3865	C15015	C15015	C15015	C15015	-	C7512	32x1.2	D 32x1.2*	32x1.2@	-
	3000	5389	C15024	C15012	C15024	C15012	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-
		6151	BTB C15012	C15012	BTB C15012	C15012	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-
		6913	BTB C15015	C15015	BTB C15015	C15015	C10019	C7512	50x1.6	50x1.6**	50x1.6@	-

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*
1 SET OF BRACE ON BOTH SKILLION ENDS	**

SIDES
SHEDS WITH SIDE WALL DOOR(S), REQUIRE ONE BAY BRACED ON THE OPPOSITE SIDE-WALL

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 5

FRAME SIZE: LOW SIDE ROLLER DOOR(S), WIND-RATED, INTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-
		3865	C15012	C15012	C15012	C15012	-	C7512	30x0.8	-	30x0.8#	-
		5389	C15019	C15012	C15019	C15012	C10012	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15015	C15024	C15015	C10015	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15015	C15015	BTB C15015	C15015	C15012	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-
	2700	3865	C15012	C15012	C15015	C15012	-	C7512	30x0.8	-	30x0.8#	-
		5389	C15019	C15012	C15019	C15012	C10015	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15019	C15024	C15019	C10019	C7512	30x1.0	-	30x1.0#	-
		6913	BTB C15015	C15015	BTB C15015	C15015	C15015	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15019	C15019	-	C7512	30x0.8	-	30x0.8#	-
		3865	C15012	C15012	C15019	C15015	-	C7512	30x0.8	-	30x0.8#	-
	3000	5389	C15024	C15015	C15024	C15015	C10019	C7512	30x0.8	-	30x0.8#	-
		6151	C15024	C15019	C15024	C15019	C10024	C7512	30x1.0	-	30x1.0#	-
		6913	BTB C15015	C15019	BTB C15015	C15019	C15015	C7512	30x0.8	-	30x0.8#	-

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#

SIDES	
SHEDS WITH SIDE WALL DOOR(S), REQUIRE ONE BAY BRACED ON THE OPPOSITE SIDE-WALL	



TABLE 6

FRAME SIZE: LOW SIDE ROLLER DOOR(S), WIND-RATED, ONTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15012	C15012	N/A	C7512	30x0.8	30x0.8*	30x0.8@	-
		3865	C15012	C15015	C15012	C15012	N/A	C7512	30x0.8	30x0.8*	30x0.8@	-
		5389	C15019	C15012	C15019	C15012	C10012	C7512	D 30x1.0	30x1.0**	30x1.0@	-
		6151	BTB C15012	C15012	BTB C15012	C15012	C10012	C7512	D 30x1.0	30x1.0**	30x1.0@	-
		6913	BTB C15015	C15012	BTB C15015	C15012	C10012	C7512	D 32x1.2	32x1.2**	32x1.2@	-
		3103	C15012	C15012	C15012	C15012	N/A	C7512	30x1.0	30x1.0*	30x1.0@	-
	2700	3865	C15012	C15015	C15012	C15012	N/A	C7512	32x1.2	32x1.2*	32x1.2@	-
		5389	C15024	C15012	C15024	C15012	C10012	C7512	D 32x1.2	32x1.2**	32x1.2@	-
		6151	BTB C15012	C15012	BTB C15012	C15012	C10015	C7512	D 30x1.0	30x1.0**	30x1.0@	-
		6913	BTB C15015	C15012	BTB C15015	C15012	C10015	C7512	D 32x1.2	32x1.2**	32x1.2@	-
		3103	C15012	C15012	C15012	C15012	N/A	C7512	32x1.2	32x1.2*	32x1.2@	-
		3000	3865	C15015	C15015	C15015	C15015	N/A	C7512	D 30x1.0	30x1.0*	30x1.0@
	5389		C15024	C15012	C15024	C15012	C10015	C7512	D 32x1.2	32x1.2**	32x1.2@	-
	6151		BTB C15012	C15012	BTB C15012	C15012	C10015	C7512	D 32x1.2	32x1.2**	32x1.2@	-
	6913		BTB C15015	C15012	BTB C15015	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL. INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*
1 SET OF BRACE ON BOTH SKILLION ENDS	**

SIDES
SHEDS WITH SIDE WALL DOORS, REQUIRE ONE BAY BRACED ON THE OPPOSITE SIDE-WALL

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 7

FRAME SIZE: SKILLION END ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, INTO CONCRETE													
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE	
			INTERNAL	END	INTERNAL	END							
N1	2400	3103	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	C15015	C15015	C15015	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	C15024	C15015	C15024	C15015	C10012	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		6151	BTB C15019	C15019	BTB C15019	C15019	C10015	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C10015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
	2700	3103	C15012	C15012	C15019	C15012	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	C15019	C15015	C15019	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	C15024	C15015	C15024	C15015	C10015	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		6151	BTB C15019	C15019	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
	3000	3103	C15012	C15012	C15019	C15012	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	C15019	C15015	C15019	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	C15024	C15015	C15024	C15015	C10019	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	-	
		6151	BTB C15019	C15019	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15012	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15012	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	-	
	N2	2400	3103	C15015	C15012	C15019	C15012	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-
			3865	C15019	C15015	C15019	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-
			5389	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	BTB C150
			6151	BTB C15024	C15019	BTB C15024	C15019	C10019	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150
			6913	BTB C15024	C15024	BTB C15024	C15024	C15012	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150
			6913	BTB C15024	C15024	BTB C15024	C15024	C15012	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150
2700		3103	C15015	C15012	C15024	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	C15024	C15015	C15024	C15015	-	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150	
		6151	BTB C15024	C15019	BTB C15024	C15019	C15012	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150	
3000		3103	C15015	C15012	C15024	C15019	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	C15024	C15019	C15024	C15019	-	STANDARD C100 FOLDED	30x1.0	-	30x1.0#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15012	STANDARD C100 FOLDED	32x1.2	-	32x1.2#	BTB C150	
		6151	BTB C15024	C15019	BTB C15024	C15019	C15015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	BTB C150	
N3	2400	3103	C15024	C15015	C15024	C15015	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	BTB C15019	C15019	BTB C15019	C15019	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
	2700	3103	BTB C15019	C15024	BTB C15019	C15024	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	BTB C15019	C15019	BTB C15019	C15019	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15015	STANDARD C100 FOLDED	D 30x0.8	-	30x0.8#	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6#	BTB C150	
	3000	3103	BTB C15019	C15024	BTB C15019	C15024	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		3865	BTB C15024	C15024	BTB C15024	C15024	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8#	-	
		5389	BTB C15019	C15024	BTB C15019	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6#	BTB C150	

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOOR MAY BE LOCATED IN BOTH ENDS, BUT MUST NOT INTERFERE WITH BRACING REQUIRED.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*

SIDES	
SHEDS WITH END WALL DOOR(S)/OPENING(S) REQUIRE ONE BAY ON EACH SIDE TO BE BRACED	



TABLE 8

FRAME SIZE: SKILLION END ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, ONTO CONCRETE													
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE	
			INTERNAL	END	INTERNAL	END							
N1	2400	3103	C15012	C15012	C15012	C15012	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		3865	C15015	C15015	C15015	C15015	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		5389	C15024	C15015	C15024	C15015	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6913	BTB C15024	C15019	BTB C15024	C15019	C10015	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		3103	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
	2700	3865	C15015	C15015	C15015	C15015	-	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		5389	C15024	C15015	C15024	C15015	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6913	BTB C15024	C15019	BTB C15024	C15019	C10015	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		3103	C15012	C15012	C15015	C15012	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-	
		3865	C15015	C15015	C15019	C15019	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-	
	3000	5389	C15024	C15015	C15024	C15015	C10012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	-	
		3103	C15015	C15012	C15015	C15012	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-	
		3865	C15015	C15015	C15019	C15019	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-	
		5389	C15024	C15015	C15024	C15015	C10012	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	-	
	N2	2400	5389	BTB C15019	C15015	BTB C15019	C15015	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150
			6151	BTB C15024	C15012	BTB C15024	C15012	C10019	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150
			6913	BTB C15024	C15012 ¹	BTB C15019	C15012 ¹	C10019	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150
			3103	C15015	C15012	C15019	C15012	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-
			3865	C15024	C15019	C15024	C15019	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-
			5389	BTB C15019	C15019	BTB C15019	C15019	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150
2700		6151	BTB C15024	C15019	BTB C15024	C15019	C10019	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150	
		6913	BTB C15024	C15015 ¹	BTB C15019	C15015 ¹	C15012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150	
		3103	C15015	C15012	C15019	C15012	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	
		3865	C15024	C15019	C15024	C15019	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6151	BTB C15024	C15019	BTB C15024	C15019	C10019	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150	
N3	2400	6913	BTB C15024	C15015 ¹	BTB C15019	C15015 ¹	C15012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150	
		3103	C15015	C15012	C15024	C15015	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	
		3865	C15024	C15019	C15024	C15019	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C10015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6151	BTB C15024	C15019	BTB C15024	C15019	C15012	STANDARD C100 FOLDED	50x1.6	50x1.6*	50x1.6@	BTB C150	
		6913	BTB C15024	C15015 ¹	BTB C15019	C15015 ¹	C15015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
	2700	3103	BTB C15015	C15012	BTB C15015	C15012	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8##	-	
		3865	BTB C15015	C15024	BTB C15015	C15024	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	
		5389	BTB C15019	C15019 ²	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6151	BTB C15024	C15024 ³	BTB C15024	C15024	C15015	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6913	BTB C15024	C15024 ³	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		3103	BTB C15024	C15015	BTB C15024	C15015	-	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
	3000	3865	BTB C15015	C15024	BTB C15015	C15024	-	STANDARD C100 FOLDED	30x0.8	-	30x0.8##	-	
		5389	BTB C15019	C15019 ²	BTB C15019	C15019	C10019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6151	BTB C15024	C15024 ³	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		6913	BTB C15024	C15024 ³	BTB C15024	C15024	C15019	STANDARD C100 FOLDED	D 50x1.6	50x1.6*	50x1.6@	BTB C150	
		3103	BTB C15024	C15015	BTB C15024	C15015	-	STANDARD C100 FOLDED	D 32x1.2	-	32x1.2##	-	
		3865	BTB C15015	C15024	BTB C15015	C15024	-	STANDARD C100 FOLDED	D 50x1.6	D 50x1.6*	50x1.6@	-	

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE.

SUPERSCRIPT REFERENCE:

- Upgrade to C15024 on the Skillion End with Single Roller Door
- Upgrade to C15024 on the Skillion End with Single Roller Door
- Upgrade to C15024+C10024 on the Skillion End with Single Roller Door

ROOF	
BOTH ENDS SHALL BE BRACED	##
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON 1 SKILLION END	*
2 SETS OF BRACE ON 1 SKILLION END	^

SIDES
SHEDS WITH END WALL DOOR(S)/OPENING(S) REQUIRE ONE BAY ON EACH SIDE TO BE BRACED

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 9

FRAME SIZE: HIGH SIDE ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, INTO CONCRETE												
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE
			INTERNAL	END	INTERNAL	END						
N1	2400	3103	C15012	C15012	C15012	C15012	-	C7512	30x1.0	30x1.0**	30x1.0#	-
		3865	C15015	C15015	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-
		5389	C15024	C15012	C15024	C15012	C10015	C7512	30x0.8	-	30x0.8#	-
		6151	BTB C15019	C15019	BTB C15019	C15019	C10019	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15024	C15015	BTB C15024	C15015	C15012	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	32x1.2**	32x1.2#	-
	2700	3865	C15015	C15015	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-
		5389	C15024	C15015	C15024	C15015	C15012	C7512	30x0.8	-	30x0.8#	-
		6151	BTB C15019	C15019	BTB C15019	C15019	C15012	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15024	C15019	BTB C15024	C15019	C15015	C7512	30x0.8	-	30x0.8#	-
		3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	32x1.2**	32x1.2#	-
		3865	C15019	C15019	C15019	C15019	-	C7512	30x0.8	-	30x0.8#	-
	3000	5389	BTB C15015	C15019	BTB C15015	C15019	C15015	C7512	30x0.8	-	30x0.8#	-
		6151	BTB C15019	C15019	BTB C15019	C15019	C15015	C7512	30x0.8	-	30x0.8#	-
		6913	BTB C15024	C15019	BTB C15024	C15019	C15015	C7512	30x0.8	-	30x0.8#	-
		3103	C15015	C15012	C15019	C15019	-	65X65X2.5 SHS	30x1.0	-	30x1.0#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	-
		5389	C15019	C15019	C15024	C15019	C15015	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150
N2	2400	6151	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	BTB C150
		6913	BTB C15024	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	30x0.8	-	30x0.8#	BTB C150
		3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	32x1.2	D 32x1.2**	32x1.2#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
		5389	C15024	C15024	C15024	C15024	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150
		6151	BTB C15019	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	BTB C150
	2700	6913	BTB C15024	C15024	BTB C15019	C15024	C15024	65X65X2.5 SHS	30x0.8	-	30x0.8#	BTB C150
		3103	C15015	C15015	C15019	C15019	-	65X65X2.5 SHS	D 30x0.8	D 30x0.8**	30x0.8#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
		5389	C15024	C15024	C15024	C15024	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150
		6151	BTB C15019	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	D 32x1.2	-	32x1.2#	BTB C150
		6913	BTB C15024	C15024	BTB C15019	C15024	C15024	65X65X2.5 SHS	30x0.8	-	30x0.8#	BTB C150
N3	2400	3103	C15019	C15015	C15024	C15024	-	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
		5389	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6#	BTB C150
		6151	BTB C15024	C15024	BTB C15024	C15024	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150
		6913	BTB C15024	C15024	BTB C15024	C15024	C15019	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6#	BTB C150
		3103	C15019	C15019	C15024	C15024	-	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	-
	2700	3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
		5389	BTB C15019	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6#	BTB C150
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6#	BTB C150
		3103	BTB C15012	C15019	BTB C15019	C15024	-	65X65X2.5 SHS	D 30x1.0	-	30x1.0#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
	3000	5389	BTB C15019	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6#	BTB C150
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6#	BTB C150
		3103	BTB C15012	C15019	BTB C15019	C15024	-	65X65X2.5 SHS	D 30x1.0	-	30x1.0#	-
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2#	-
		5389	BTB C15019	C15024	BTB C15019	C15024	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON BOTH SKILLION ENDS	**

SIDES	
SHEDS WITH SIDE WALL DOOR(S)/OPENING(S) REQUIRE ONE BAY BRACE ON THE OPPOSITE SIDE-WALL	



TABLE 10

FRAME SIZE: HIGH SIDE ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, ONTO CONCRETE													
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE	
			INTERNAL	END	INTERNAL	END							
N1	2400	3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	32x1.2**	32x1.2@	-	
		3865	C15015	C15019	C15015	C15019	-	C7512	30x0.8	D 30x0.8**	30x0.8@	-	
		5389	C15024	C15012	C15024	C15012	C10012	C7512	D 30x0.8	D 30x0.8**	30x0.8@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-	
		3103	C15012	C15012	C15012	C15012	-	C7512	32x1.2	D 32x1.2**	32x1.2@	-	
	2700	3865	C15019	C15019	C15019	C15019	-	C7512	30x1.0	D 30x1.0**	30x1.0@	-	
		5389	BTB C15015	C15012	BTB C15015	C15012	C10015	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10019	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10019	C7512	50x1.6	50x1.6**	50x1.6@	-	
		3103	C15012	C15012	C15015	C15015	-	C7512	32x1.2	D 32x1.2**	32x1.2@	-	
		3865	C15019	C15024	C15019	C15024	-	C7512	32x1.2	D 32x1.2**	32x1.2@	-	
	3000	5389	BTB C15015	C15012	BTB C15015	C15012	C10019	C7512	D 30x1.0	D 30x1.0**	30x1.0@	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C10019	C7512	D 32x1.2	D 32x1.2**	32x1.2@	-	
		6913	BTB C15024	C15015	BTB C15024	C15015	C10024	C7512	50x1.6	50x1.6**	50x1.6@	-	
		3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		5389	C15019	C15015	C15019	C15015	C15012	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	C150	
	N2	2400	6151	BTB C15015	C15019	BTB C15015	C15019	C15012	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTBC150
			6913	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	BTBC150
			3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-
			3865	C15024	C15024+C10012	C15024	C15024	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-
			5389	C15024	C15015	C15024	C15015	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	C150
			6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTBC150
2700		3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		5389	C15024	C15015	C15024	C15015	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTBC150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	BTBC150	
		3103	C15015	C15015	C15019	C15019	-	65X65X2.5 SHS	D 30x1.0	D 30x1.0**	30x1.0@	-	
3000		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		5389	C15024	C15019	C15024	C15019	C15015	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTBC150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	BTBC150	
		3103	C15015	C15019	C15019	C15019	-	65X65X2.5 SHS	D 30x1.0	D 30x1.0**	30x1.0@	-	
		3865	C15024	C15024+C10024	C15024	C15024	-	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	-	
N3		2400	5389	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150
			6151	BTB C15024	C15024	BTB C15024	C15024	C15019	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150
			6913	BTB C15024	C15024	BTB C15024	C15024	C15019	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	BTB C150
			3103	C15019	C15019	C15024	C15019	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2@	-
			3865	C15024	C15024+C10024	C15024	C15024	-	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	-
			5389	BTB C15019	C15024	BTB C15019	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150
	2700	6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		3103	C15019	C15019	C15024	C15024	-	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	-	
		3865	C15024	C15024+C10024	C15024	C15024	-	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	-	
		5389	BTB C15019	C15024	BTB C15019	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150	
	3000	6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		3103	C15019	C15019	C15024	C15024	-	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	-	
		3865	C15024	C15024+C10024	C15024	C15024	-	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	-	
		5389	BTB C15019	C15024	BTB C15019	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	D 50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	D 50x1.6**	50x1.6@	BTB C150	

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL. INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING

ROOF	
ROOF FULLY BRACED	@
SKILLION END	
1 SET OF BRACE ON BOTH SKILLION ENDS	**
SIDES	
SHEDS WITH SIDE WALL DOOR(S)/OPENING(S), REQUIRE ONE BAY BRACE ON THE OPPOSITE SIDE WALL	

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 11

FRAME SIZE: LOW SIDE ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, INTO CONCRETE													
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE	
			INTERNAL	END	INTERNAL	END							
N1	2400	3103	C15012	C15012	C15012	C15012	-	C7512	30x0.8	30x0.8**	30x0.8#	-	
		3865	C15015	C15019	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-	
		5389	C15024	C15012	C15024	C15012	C10015	C7512	30x0.8	-	30x0.8#	-	
		6151	BTB C15019	C15012	BTB C15019	C15012	C10015	C7512	30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C15015	C7512	30x0.8	-	30x0.8#	-	
		3103	C15012	C15012	C15012	C15012	-	C7512	30x0.8	30x0.8**	30x0.8#	-	
	2700	3865	C15015	C15015	C15015	C15015	-	C7512	30x0.8	-	30x0.8#	-	
		5389	C15024	C15015	C15024	C15015	C15012	C7512	30x0.8	-	30x0.8#	-	
		6151	BTB C15019	C15012	BTB C15019	C15012	C10019	C7512	30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15015	BTB C15024	C15015	C15015	C7512	30x0.8	-	30x0.8#	-	
		3103	C15012	C15012	C15015	C15015	-	C7512	30x0.8	30x0.8**	30x0.8#	-	
		3865	C15019	C15019	C15019	C15019	-	C7512	30x0.8	-	30x0.8#	-	
	3000	5389	BTB C15015	C15015	BTB C15015	C15015	C15012	C7512	30x0.8	-	30x0.8#	-	
		6151	BTB C15019	C15015	BTB C15019	C15015	C15012	C7512	30x0.8	-	30x0.8#	-	
		6913	BTB C15024	C15015	BTB C15024	C15015	C15015	C7512	30x1.0	-	30x1.0#	-	
		3103	C15015	C15012	C15015	C15015	-	65X65X2.5 SHS	30x1.0	-	30x1.0#	-	
		3865	C15019	C15015	C15019	C15019	-	65X65X2.5 SHS	30x0.8	-	30x0.8#	-	
		5389	C15019	C15015	C15024	C15015	C15015	65X65X2.5 SHS	30x1.0	-	30x1.0#	C150	
N2	2400	5389	C15019	C15019	C15024	C15015	C15015	65X65X2.5 SHS	30x1.0	-	30x0.8#	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15015	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	BTB C150	
		6913	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	30x1.0	-	30x1.0#	BTB C150	
		3103	C15012	C15012	C15019	C15015	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-	
		3865	C15019	C15019	C15019	C15019	-	65X65X2.5 SHS	30x0.8	-	30x0.8#	-	
		5389	C15024	C15019	C15024	C15019	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150	
	2700	6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	BTB C150	
		6913	BTB C15015	C15024	BTB C15015	C15024	C15024	65X65X2.5 SHS	32x1.2	-	32x1.2#	BTB C150	
		3103	C15015	C15012	C15019	C15019	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	30x0.8	-	30x0.8#	-	
		5389	C15024	C15024	C15024	C15024	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 30x1.0	-	30x1.0#	BTB C150	
	N3	2400	6913	BTB C15015	C15024	BTB C15015	C15024	C15024	65X65X2.5 SHS	32x1.2	-	32x1.2#	BTB C150
			3103	C15015	C15012	C15019	C15019	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-
			3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	30x0.8	-	30x0.8#	-
			5389	C15024	C15024	C15024	C15024	C15019	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	C150
			6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 30x1.0	-	30x1.0#	BTB C150
			6913	BTB C15015	C15024	BTB C15015	C15024	C15024	65X65X2.5 SHS	32x1.2	-	32x1.2#	BTB C150
2700		3103	C15019	C15019	C15024	C15024	-	65X65X2.5 SHS	D 30x0.8	-	30x0.8#	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	50x1.6	-	50x1.6#	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15019	BTB C15024	C15019	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150	
		3103	BTB C15012	C15019	BTB C15019	C15024	-	65X65X2.5 SHS	30x1.0	-	30x1.0#	-	
3000		3865	BTB C15019	C15024	BTB C15019	C15024	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	50x1.6	-	50x1.6#	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6#	BTB C150	
		3103	BTB C15012	C15019	BTB C15019	C15024	-	65X65X2.5 SHS	30x1.0	-	30x1.0#	-	
		3865	BTB C15019	C15024	BTB C15019	C15024	-	65X65X2.5 SHS	32x1.2	-	32x1.2#	-	

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ONLY ONE BAY TO BE BRACED - LOCATION CAN VARY	#
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON BOTH SKILLION ENDS	**

SIDES	
SHEDS WITH SIDE WALL DOOR(S)/OPENING(S), REQUIRE ONE BAY BRACE ON THE OPPOSITE SIDE-WALL	



TABLE 12

FRAME SIZE: LOW SIDE ROLLER DOOR(S)/OPENING(S), NON WIND-RATED, ONTO CONCRETE													
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	SUPPORT RAFTER		SUPPORT COLUMN		END COLUMN	ROLLER DOOR HEADER BEAM	SIDE WALL BRACE	END WALL BRACE	ROOF BRACE	KNEE BRACE	
			INTERNAL	END	INTERNAL	END							
N1	2400	3103	C15012	C15012	C15012	C15012	-	C7512	30x0.8	30x0.8**	30x0.8@	-	
		3865	C15012	C15015	C15012	C15015	-	C7512	30x0.8	30x0.8**	30x0.8@	-	
		5389	C15024	C15012	C15024	C15012	C10012	C7512	D 30x1.0	30x1.0**	30x1.0@	-	
		6151	BTB C15019	C15012	BTB C15019	C15012	C10015	C7512	D 30x1.0	30x1.0**	30x1.0@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10015	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
	2700	3103	C15012	C15012	C15012	C15012	-	C7512	30x1.0	30x1.0**	30x1.0@	-	
		3865	C15015	C15015	C15015	C15015	-	C7512	D 30x0.8	30x0.8**	30x0.8@	-	
		5389	BTB C15015	C15012	BTB C15015	C15012	C10015	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
		6151	BTB C15019	C15012	BTB C15019	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
		6913	BTB C15024	C15012	BTB C15024	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
	3000	3103	C15012	C15012	C15015	C15015	-	C7512	32x1.2	32x1.2**	32x1.2@	-	
		3865	C15019	C15019	C15019	C15019	-	C7512	D 30x0.8	D 30x0.8**	30x0.8@	-	
		5389	BTB C15015	C15012	BTB C15015	C15012	C10019	C7512	D 32x1.2	D 32x1.2**	32x1.2@	-	
		6151	BTB C15019	C15012	BTB C15019	C15012	C10019	C7512	D 32x1.2	32x1.2**	32x1.2@	-	
		6913	BTB C15024	C15015	BTB C15024	C15015	C10024	C7512	50x1.6	50x1.6**	50x1.6@	-	
		6913	BTB C15024	C15015	BTB C15024	C15015	C10024	C7512	50x1.6	50x1.6**	50x1.6@	-	
	N2	2400	3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	32x1.2	32x1.2**	32x1.2@	-
			3865	C15019	C15019	C15019	C15019	-	65X65X2.5 SHS	30x1.0	30x1.0**	30x1.0@	-
			5389	C15019	C15012	C15019	C15012	C15012	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	C150
			6151	BTB C15015	C15019	BTB C15015	C15019	C15012	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150
			6913	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	BTB C150
			6913	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	BTB C150
2700		3103	C15015	C15015	C15015	C15015	-	65X65X2.5 SHS	D 32x1.2	32x1.2**	32x1.2@	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	32x1.2	32x1.2**	32x1.2@	-	
		5389	C15024	C15015	C15024	C15015	C15015	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15015	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
3000		3103	C15015	C15015	C15019	C15019	-	65X65X2.5 SHS	D 30x1.0	D 30x1.0**	30x1.0@	-	
		3865	C15024	C15024	C15024	C15024	-	65X65X2.5 SHS	32x1.2	32x1.2**	32x1.2@	-	
		5389	C15024	C15019	C15024	C15019	C15015	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	C150	
		6151	BTB C15015	C15019	BTB C15015	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
N3	2400	3103	C15019	C15019	C15019	C15019	-	65X65X2.5 SHS	D 30x1.0	D 30x1.0**	30x1.0@	-	
		3865	C15024	C15024 + C10024	C15024	C15024	-	65X65X2.5 SHS	32x1.2	D 32x1.2**	32x1.2@	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15019	BTB C15024	C15019	C15019	65X65X2.5 SHS	2xD 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15019	BTB C15024	C15019	C15019	65X65X2.5 SHS	2xD 50x1.6	50x1.6**	50x1.6@	BTB C150	
	2700	3103	C15019	C15019	C15024	C15019	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2@	-	
		3865	C15024	C15024 + C10024	C15024	C15024	-	65X65X2.5 SHS	50x1.6	50x1.6**	50x1.6@	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15019	BTB C15024	C15019	C15024	65X65X2.5 SHS	2xD 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15019	BTB C15024	C15019	C15024	65X65X2.5 SHS	2xD 50x1.6	50x1.6**	50x1.6@	BTB C150	
	3000	3103	C15019	C15019	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2@	-	
		3865	C15024	C15024 + C10024	C15024	C15024	-	65X65X2.5 SHS	D 32x1.2	D 32x1.2**	32x1.2@	-	
		5389	BTB C15019	C15019	BTB C15019	C15019	C15019	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6151	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	D 50x1.6	50x1.6**	50x1.6@	BTB C150	
		6913	BTB C15024	C15024	BTB C15024	C15024	C15024	65X65X2.5 SHS	2xD 50x1.6	D 50x1.6**	50x1.6@	BTB C150	

NOTES & REQUIREMENTS

- INTERNAL RAFTER(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL. INTERNAL COLUMN(S) & END COLUMN(S) SHALL BE FLY BRACED AS CLOSE TO MID-SPAN AS PRACTICAL, WHERE APPLICABLE.
- DOORS MAY BE LOCATED IN BOTH SIDES, BUT MUST NOT INTERFERE WITH BAYS REQUIRING BRACING.

ROOF	
ROOF FULLY BRACED	@

SKILLION END	
1 SET OF BRACE ON BOTH SKILLION ENDS	**

SIDES	
SHEDS WITH SIDE WALL DOOR(S)/OPENING(S), REQUIRE ONE BAY BRACE ON THE OPPOSITE SIDE WALL	

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 13

SKILLION END INTERNAL ROLLER DOOR COLUMN SIZE						
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	WIND-RATED ROLLER DOOR/S		NON WIND-RATED ROLLER DOOR/S	
			ONTO	INTO	ONTO	INTO
N1	2400	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	C15019	C15019	C15015	C15019
		6151	C15019	C15019	C15019	C15019
	6913	C15019	C15019	C15019	C15019	
	2700	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	C15019	C15019	C15019	C15019
		6151	C15019	C15024	C15019	C15019
	6913	C15019	C15024	C15024	C15024	
	3000	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
5389		C15019	C15024	C15019	C15024	
6151		C15024	C15024	C15024	C15024	
6913	C15024	C15024	C15024	C15024		
N2	2400	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	C15019	C15024	C15019	C15019
		6151	C15019	C15024	C15024	C15024
	6913	C15019	C15024	C15024	C15024	
	2700	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	C15019	C15024	C15024	C15024
		6151	C15024	C15024	C15024	C15024
	6913	C15024	C15024	C15024	C15024	
	3000	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
5389		C15024	C15024	C15024	C15024	
6151		C15024	C15024+50X50X1.6 SHS	C15024+C10024	C15024+C10024	
6913	C15024	C15024+50X50X1.6 SHS	C15024+C10024	C15024+50X50X1.6 SHS		
N3	2400	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	N/A	N/A	C15024	C15024
		6151	N/A	N/A	C15024+50X50X3.0 SHS	C15024+50X50X3.0 SHS
	6913	N/A	N/A	C15024+50X50X3.0 SHS	C15024+50X50X3.0 SHS	
	2700	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
		5389	N/A	N/A	C15024+50X50X1.6 SHS	C15024+50X50X1.6 SHS
		6151	N/A	N/A	C15024+50X50X3.0 SHS	C15024+50X50X3.0 SHS
	6913	N/A	N/A	C15024+50X50X3.0 SHS	C15024+50X50X3.0 SHS	
	3000	3103	N/A	N/A	N/A	N/A
		3865	N/A	N/A	N/A	N/A
5389		N/A	N/A	C15024+50X50X3.0 SHS	C15024+50X50X3.0 SHS	
6151		N/A	N/A	C15024+65X65X2.5 SHS	C15024+65X65X2.5 SHS	
6913	N/A	N/A	C15024+65X65X2.5 SHS	C15024+65X65X2.5 SHS		



TABLE 14

SKILLION END CENTRE ROLLER DOOR COLUMN SIZE							
WIND SPEED	EAVES HEIGHT LOW SIDE (mm)	GARAGE WIDTH (mm)	WIND-RATED ROLLER DOOR/S		NON WIND-RATED ROLLER DOOR/S		
			ONTO	INTO	ONTO	INTO	
N1	2400	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	C200+C15012	C200+C15012	C200+C15015	C200+C15012	
		6151	C200+C15012	C200+C15019	C200+C15019	C200+C15019	
		6913	C200+C15012	C200+C15024	C200+C15019	C200+C15024	
		6913	C200+C15015	C200+C15024	C200+C15024	C200+C15024	
	2700	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	C200+C15012	C200+C15012	C200+C15019	C200+C15012	
		6151	C200+C15012	C200+C15024	C200+C15019	C200+C15024	
		6913	C200+C15015	C200+C15024	C200+C15024	C200+C15024	
		6913	C200+C15019	C200+C15024	C200+C15024	C200+C15024	
	3000	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	C200+C15012	C200+C15012	C200+C15019	C200+C15012	
		6151	C200+C15015	C200+C15024	C200+C15024	C200+C15024	
		6913	C200+C15019	C200+C15024	C200+C15024	C200+C15024	
		6913	C200+C15019	C200+C15024	C200+C15024	C200+C15024	
	N2	2400	3103	N/A	N/A	N/A	N/A
			3865	N/A	N/A	N/A	N/A
			5389	C200+C15019	C200+C15012	C200+C15012	C200+C15012
			6151	C200+C15024	C200+C15019	C200+C15015	C200+C15019
			6913	C200+C15024	C200+C15019	C200+C15024	C200+C15019
			6913	C200+C15024	C200+C15019	C200+C15024	C200+C15019
2700		3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	C200+C15019	C200+C15012	C200+C15015	C200+C15012	
		6151	C200+C15024	C200+C15024	C200+C15019	C200+C15024	
		6913	C200+C15024	C200+C15024	C200+C15024	C200+C15024	
		6913	C200+C15024	C200+C15024	C200+C15024	C200+C15024	
3000		3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	C200+C15019	C200+C15012	C200+C15019	C200+C15012	
		6151	C200+C15024	C200+C15024	C200+C15024	C200+C15024	
		6913	C200+C15024+50X50X1.6	C200+C15024	C200+C15024+50X50X1.6 SHS	C200+C15024	
		6913	C200+C15024+50X50X1.6	C200+C15024	C200+C15024+50X50X1.6 SHS	C200+C15024	
N3	2400	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	N/A	N/A	C200+C15024	C200+C15024	
		6151	N/A	N/A	C200+C15024+50X50X1.6 SHS	C200+C15024+50X50X1.6 SHS	
		6913	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
		6913	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
	2700	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	N/A	N/A	C200+C15024+50X50X1.6 SHS	C200+C15024+50X50X3.0 SHS	
		6151	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
		6913	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
		6913	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
	3000	3103	N/A	N/A	N/A	N/A	
		3865	N/A	N/A	N/A	N/A	
		5389	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
		6151	N/A	N/A	C200+C15024+50X50X3.0 SHS	C200+C15024+50X50X3.0 SHS	
		6913	N/A	N/A	C200+C15024+65X65X2.5 SHS	C200+C15024+65X65X2.5 SHS	
		6913	N/A	N/A	C200+C15024+65X65X2.5 SHS	C200+C15024+65X65X2.5 SHS	

1°-5° SKILLION ROOF SHED SPAN TABLES

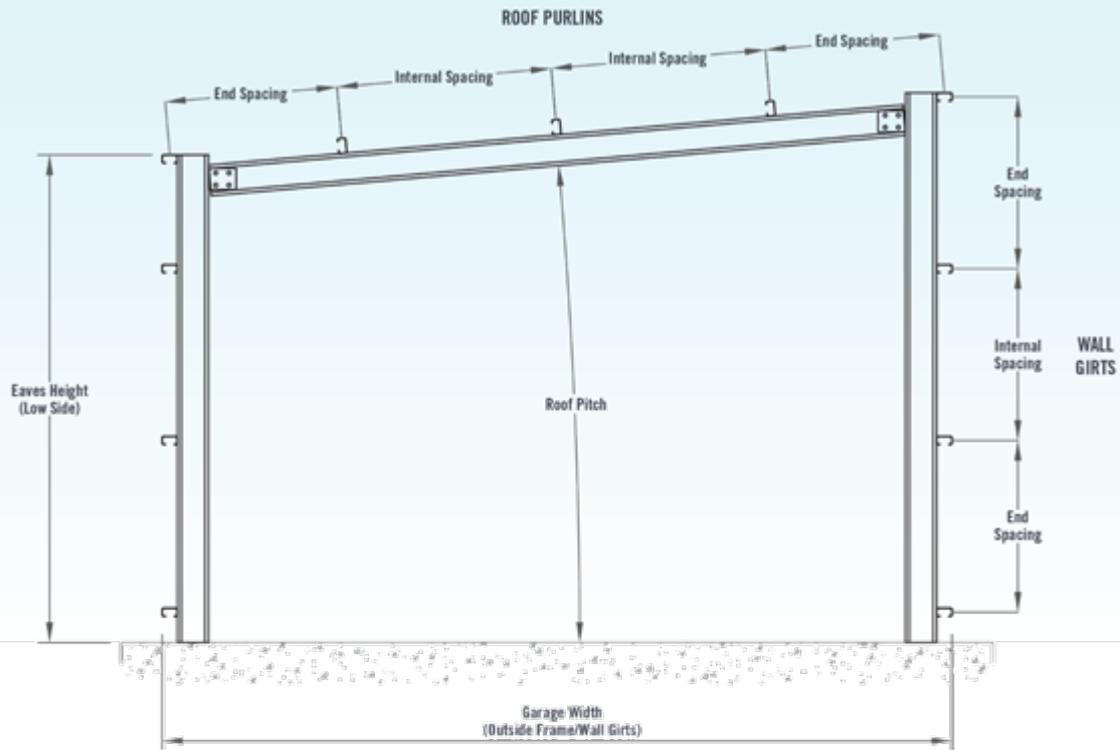
TABLE 15

PURLINS & GIRTS: SIZE & SPACING SPECIFICATIONS					
MEMBER TYPE	WIND SPEED	WIND-RATED ROLLER DOOR/S		NON WIND-RATED ROLLER DOOR/S	
		INTERNAL SIZE/SPACING	END SIZE/SPACING	INTERNAL SIZE/SPACING	END SIZE/SPACING
PURLIN (0.42mm CGI Roof - Min 5°)	N1	C7510 MAX. 1200mm CENTRES	C7510 MAX. 950mm CENTRES	C7510 MAX. 1200mm CENTRES	C7510 MAX. 950mm CENTRES
	N2	C7510 MAX. 1200mm CENTRES	C7510 MAX. 950mm CENTRES	C7512 MAX. 1100mm CENTRES	C7512 MAX. 950mm CENTRES
	N3	C7512 MAX. 950mm CENTRES		C7512 MAX. 750mm CENTRES	
PURLIN (0.42mm Superdek Roof - Min 2°)	N1	C7510 MAX. 1300mm CENTRES		C7510 MAX. 1200mm CENTRES	
	N2	C7510 MAX. 1200mm CENTRES		C7512 MAX. 1100mm CENTRES	
	N3	N/A		C7512 MAX. 750mm CENTRES	
PURLIN (0.42mm Prodek Roof - Min 1°)	N1	C7510 MAX. 1300mm CENTRES		C7510 MAX. 1200mm CENTRES	
	N2	C7510 MAX. 1200mm CENTRES		C7512 MAX. 1100mm CENTRES	
	N3	N/A		C7512 MAX. 750mm CENTRES	
GIRT (Superdek Wall)	N1	C7510 MAX. 1300mm CENTRES		C7510 MAX. 1300mm CENTRES	
	N2	C7510 MAX. 1300mm CENTRES		C7512 MAX. 1200mm CENTRES	
	N3	N/A		C7512 MAX. 750mm CENTRES	
GIRT (CGI Wall)	N1	C7510 MAX. 1300mm CENTRES		C7510 MAX. 1300mm CENTRES	
	N2	C7510 MAX. 1300mm CENTRES		C7512 MAX. 1200mm CENTRES	
	N3	N/A		C7512 MAX. 750mm CENTRES	

NOTES & REQUIREMENTS

- For all BTB Frames, Purlins & Girts shall be fixed to both C sections.

DIAGRAM 1 - PURLINS & GIRTS SPACING



1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 16

INTO CONCRETE PIER FOOTING SIZES (WIND-RATED)										
EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	SOIL TYPE	N1				N2			
			WITH SLAB		WITHOUT SLAB		WITH SLAB		WITHOUT SLAB	
			DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH
2400	3103	A	375	1050	375	1150	375	1100	375	1200
		B	375	500	375	650	375	550	375	700
		C	375	450	375	550	375	450	375	600
	3865	A	375	1100	375	1200	375	1100	375	1200
		B	375	550	375	700	375	550	375	700
		C	375	450	375	600	375	450	375	600
	5389	A	375	1150	375	1250	375	1300	375	1400
		B	375	550	375	750	375	700	375	900
		C	375	500	375	650	375	600	375	750
	6151	A	375	1150	375	1300	375	1400	375	1550
		B	375	600	375	800	375	800	375	1050
		C	375	500	375	650	375	700	375	900
	6913	A	375	1250	375	1350	375	1500	450	1500
		B	375	650	375	850	375	850	375	1100
		C	375	550	375	750	375	750	375	950
2700	3103	A	375	1150	375	1250	375	1200	375	1300
		B	375	550	375	750	375	800	375	950
		C	375	500	375	650	375	600	375	700
	3865	A	375	1150	375	1250	375	1250	375	1350
		B	375	600	375	750	375	800	375	950
		C	375	500	375	650	375	600	375	700
	5389	A	375	1200	375	1300	450	1250	450	1400
		B	375	650	375	800	450	650	450	850
		C	375	550	375	700	450	550	450	750
	6151	A	375	1250	375	1350	450	1350	450	1500
		B	375	650	375	850	450	750	450	950
		C	375	550	375	750	450	650	450	850
	6913	A	375	1250	375	1400	450	1400	600	1350
		B	375	700	375	900	450	800	450	1000
		C	375	550	375	750	450	650	450	850
3000	3103	A	375	1200	375	1350	375	1300	450	1300
		B	375	650	375	800	375	1050	375	1200
		C	375	550	375	700	375	800	375	900
	3865	A	375	1250	375	1350	375	1350	450	1300
		B	375	650	375	850	375	950	375	1100
		C	375	550	375	750	375	700	375	850
	5389	A	375	1250	375	1400	450	1350	450	1450
		B	375	700	375	900	375	850	375	1050
		C	375	600	375	750	375	700	375	900
	6151	A	375	1300	375	1400	450	1350	450	1500
		B	375	700	375	900	375	850	375	1100
		C	375	600	375	800	375	750	375	950
	6913	A	375	1300	375	1450	450	1400	600	1350
		B	375	750	375	950	375	900	375	1150
		C	375	600	375	800	375	750	375	1000

NOTES & REQUIREMENTS

- * Footing diameter for onto concrete carports not to be less than Ø450mm.

Soil Type A: Compact sand, gravel and sand.

Soil Type B: Fine Sand, granular soil with conspicuous clay content.

Soil Type C: Stiff clay.

1. Footing sizes indicated are minimum size for structural adequacy, these sizes to be confirmed by a suitably qualified structural engineer relating to project specific site soil conditions.
2. Footings less than 600mm deep: Minimum columns embedment depth into concrete shall be footing depth minus 100mm.
Footings 600mm or deeper: Minimum column embedment depth into concrete shall be 500mm.



TABLE 17

INTO CONCRETE PIER FOOTING SIZES (NON WIND-RATED)														
EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	SOIL TYPE	N1				N2				N3			
			WITH SLAB		WITHOUT SLAB		WITH SLAB		WITHOUT SLAB		WITH SLAB		WITHOUT SLAB	
			DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH
2400	3103	A	375	1100	375	1200	375	1250	375	1400	450	1400	600	1300
		B	375	500	375	650	375	650	375	800	375	850	450	950
		C	375	450	375	550	375	550	375	700	375	700	375	900
	3865	A	375	1100	375	1200	450	1150	450	1250	450	1400	600	1300
		B	375	550	375	700	375	650	375	850	375	850	450	950
		C	375	450	375	550	375	550	375	700	375	700	375	900
	5389	A	375	1150	375	1250	450	1200	450	1300	600	1250	600	1350
		B	375	550	375	700	375	800	375	950	450	1100	450	1250
		C	375	450	375	600	375	600	375	700	375	1050	375	1150
	6151	A	375	1150	375	1250	450	1200	450	1300	600	1250	600	1350
		B	375	550	375	700	375	800	375	950	450	1450	600	1150
		C	375	450	375	600	375	600	375	700	375	1400	450	1200
	6913	A	375	1150	375	1250	450	1200	450	1300	600	1300	600	1400
		B	375	650	375	800	375	950	375	1050	600	950	600	1100
		C	375	500	375	600	375	700	375	800	450	1000	375	1050
2700	3103	A	375	1200	375	1300	450	1250	450	1350	600	1300	600	1400
		B	375	600	375	750	375	750	375	900	450	850	450	1050
		C	375	500	375	650	375	600	375	800	450	700	450	900
	3865	A	375	1200	375	1300	450	1250	450	1350	600	1300	600	1400
		B	375	600	375	750	375	750	375	950	450	850	450	1050
		C	375	500	375	650	375	600	375	800	450	700	450	900
	5389	A	375	1200	375	1300	450	1300	450	1400	600	1400	600	1500
		B	375	600	375	800	375	800	375	1000	450	1100	450	1200
		C	375	500	375	650	375	650	375	850	450	850	450	1000
	6151	A	375	1200	375	1300	450	1300	450	1400	600	1350	600	1450
		B	375	600	375	800	375	850	375	1000	600	1050	600	1150
		C	375	500	375	650	375	650	375	850	450	1150	450	1200
	6913	A	375	1250	375	1350	450	1300	450	1400	600	1300	600	1400
		B	375	700	375	850	375	1000	375	1100	600	1050	600	1150
		C	375	550	375	650	375	750	375	850	450	1100	450	1200
3000	3103	A	375	1250	450	1250	450	1350	450	1450	600	1400	600	1500
		B	375	650	375	850	375	800	375	1000	450	950	450	1200
		C	375	550	375	700	375	700	375	850	450	800	450	1000
	3865	A	375	1300	450	1300	450	1350	450	1450	600	1400	600	1500
		B	375	650	375	850	375	800	375	1050	450	950	450	1150
		C	375	550	375	750	375	700	375	900	450	750	450	1000
	5389	A	375	1300	450	1300	450	1350	450	1500	600	1400	600	1500
		B	375	700	375	850	375	850	375	1050	450	1100	450	1200
		C	375	550	375	750	375	700	375	900	450	850	450	1000
	6151	A	375	1300	450	1300	450	1400	450	1500	600	1400	600	1500
		B	375	950	375	1050	375	950	375	1100	600	1050	600	1150
		C	375	700	375	800	375	700	375	900	450	1100	450	1200
	6913	A	450	1200	450	1300	450	1350	600	1250	600	1350	600	1500
		B	375	750	375	900	375	1050	450	950	600	1100	600	1200
		C	375	550	375	750	375	800	375	900	450	1200	450	1250

NOTES & REQUIREMENTS

- * Footing diameter for onto concrete carports not to be less than Ø450mm.

Soil Type A: Compact sand, gravel and sand.

Soil Type B: Fine Sand, granular soil with conspicuous clay content.

Soil Type C: Stiff clay.

1. Footing sizes indicated are minimum size for structural adequacy, these sizes to be confirmed by a suitably qualified structural engineer relating to project specific site soil conditions.
2. Footings less than 600mm deep: Minimum columns embedment depth into concrete shall be footing depth minus 100mm.
Footings 600mm or deeper: Minimum column embedment depth into concrete shall be 500mm.

1°-5° SKILLION ROOF SHED SPAN TABLES

TABLE 18

ONTO CONCRETE STIRRUP TYPE (WIND-RATED)							
SKILLION FRAME COLUMNS				ROLLER DOOR COLUMNS			
EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	STIRRUP TYPE		EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	STIRRUP TYPE	
		N1	N2			N1	N2
2400	3103	C	C	2400	3103	A	
	3865	C	C		3865		
	5389	C	C		5389		
	6151	C	C		6151		
	6913	C	C		6913		
2700	3103	C	D	2700	3103	A	
	3865	C	C		3865		
	5389	C	C		5389		
	6151	C	C		6151		
	6913	C	C		6913		
3000	3103	C	D	3000	3103		
	3865	C	F		3865		
	5389	C	C		5389		
	6151	C	C		6151		
	6913	C	C		6913		

NOTES & REQUIREMENTS

- A. 8mm stirrup with 2 x M12 chem anchors 90mm embedment.
- B. 8mm stirrup with 2 x M12 chem anchors 200mm embedment.
- C. 8mm stirrup + angle bracket with 4 x M12 chem anchors 90mm embedment Single C-section.
- C. 2 x 8mm stirrup with 4 x 12 chem anchors 90mm embedment BTB C-section.
- D. 8mm stirrup + angle bracket with 4 x M12 chem anchors 200mm embedment Single C-section.
- D. 2 x 8mm stirrup with 4 x M12 chem anchors 200mm embedment BTB C-section.
- F. 8mm stirrup + angle bracket with 4 x M12 chem anchors 250mm embedment Single C-section.
- F. 2 x 8 stirrup with 4 x M12 chem anchors 250mm embedment BTB C - section.

Refer to Diagram 2 - Stirrup Types - Section Drawings on page 28 for further details.



TABLE 19

ONTO CONCRETE STIRRUP TYPE (NON WIND-RATED)									
SKILLION FRAME COLUMNS					ROLLER DOOR COLUMNS				
EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	STIRRUP TYPE			EAVES HEIGHT (LOW SIDE) (mm)	GARAGE WIDTH (mm)	STIRRUP TYPE		
		N1	N2	N3			N1	N2	N3
2400	3103	C	C	C	2400	3103	A	B	
	3865	C	C	C		3865			
	5389	C	C	C		5389			
	6151	C	D	F		6151			
	6913	C	D	F		6913			
2700	3103	C	F	F	2700	3103	A	B	
	3865	C	C	C		3865			
	5389	C	C	C		5389			
	6151	C	D	F		6151			
	6913	C	D	F		6913			
3000	3103	C	F	F	3000	3103	A	B	
	3865	C	D	D		3865			
	5389	C	C	D		5389			
	6151	C	D	F		6151			
	6913	C	D	F		6913			

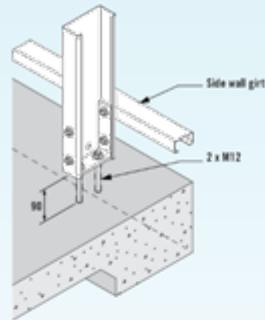
NOTES & REQUIREMENTS

- A. 8mm stirrup with 2 x M12 chem anchors 90mm embedment.
- B. 8mm stirrup with 2 x M12 chem anchors 200mm embedment.
- C. 8mm stirrup + angle bracket with 4 x M12 chem anchors 90mm embedment Single C-section.
- C. 2 x 8mm stirrup with 4 x 12 chem anchors 90mm embedment BTB C-section.
- D. 8mm stirrup + angle bracket with 4 x M12 chem anchors 200mm embedment Single C-section.
- D. 2 x 8mm stirrup with 4 x M12 chem anchors 200mm embedment BTB C-section.
- F. 8mm stirrup + angle bracket with 4 x M12 chem anchors 250mm embedment Single C-section.
- F. 2 x 8 stirrup with 4 x M12 chem anchors 250mm embedment BTB C - section.

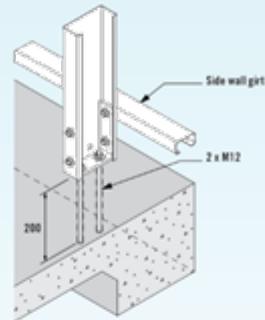
Refer to Diagram 2 - Stirrup Types - Section Drawings on page 28 for further details.

1°-5° SKILLION ROOF SHED SPAN TABLES

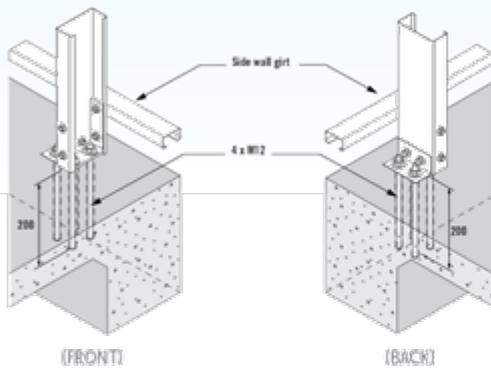
DIAGRAM 2 - STIRRUP TYPES - SECTION DRAWINGS



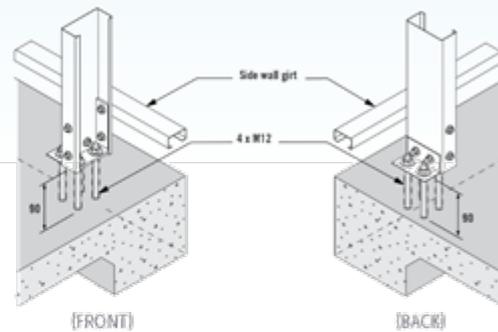
TYPE A



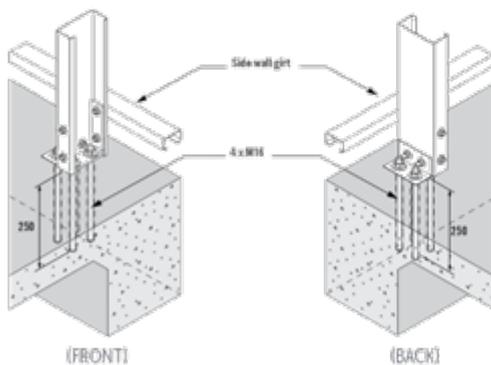
TYPE B



TYPE D*



TYPE C*



TYPE F*

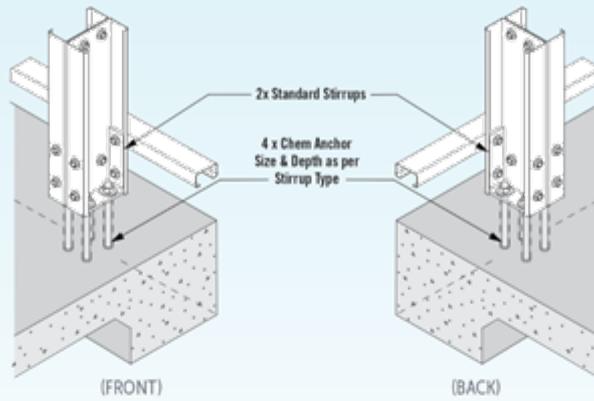
NOTES & REQUIREMENTS

*Type C, D & F - if back-to-back columns are specified, angle brackets are to be replaced with an additional 8mm stirrup.

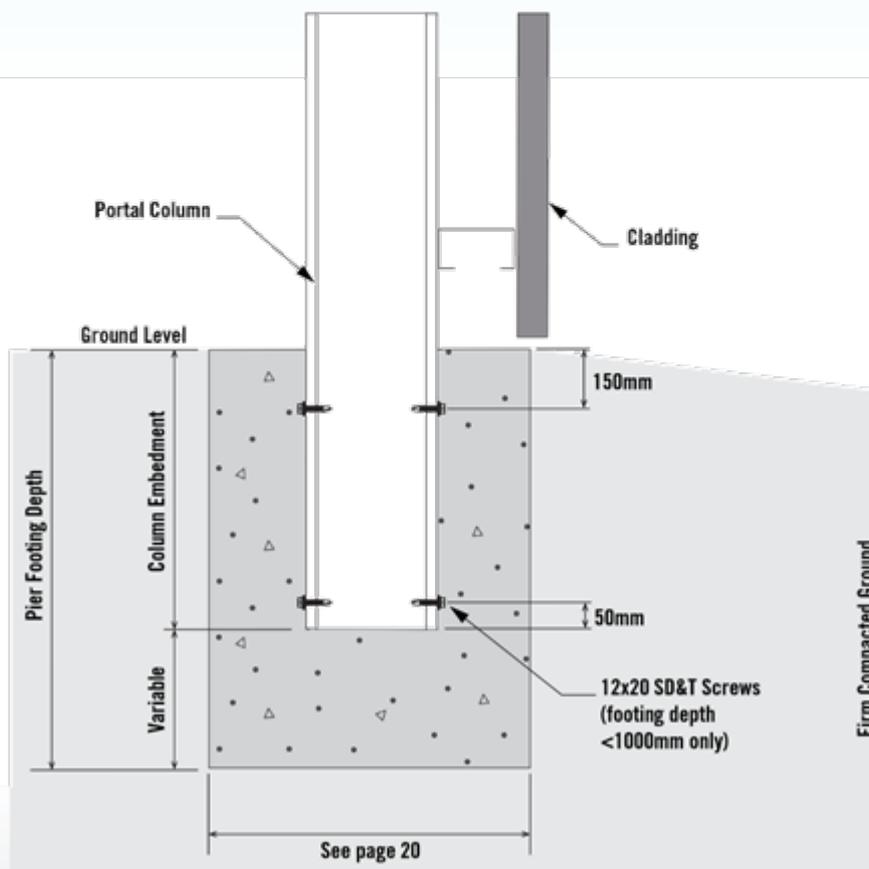
Refer to page 29 - Type C, D & F Footings for Back-to-Back Columns for further details.

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TYPE C, D & F FOOTING FOR BACK-TO-BACK COLUMNS



COLUMNS INTO CONCRETE FOOTINGS



1°-5° SKILLION ROOF SHED SPAN TABLES

RAFT SLAB PERIMETER BEAM SPECIFICATIONS (SLABS WITHOUT PIER FOOTINGS ONLY)

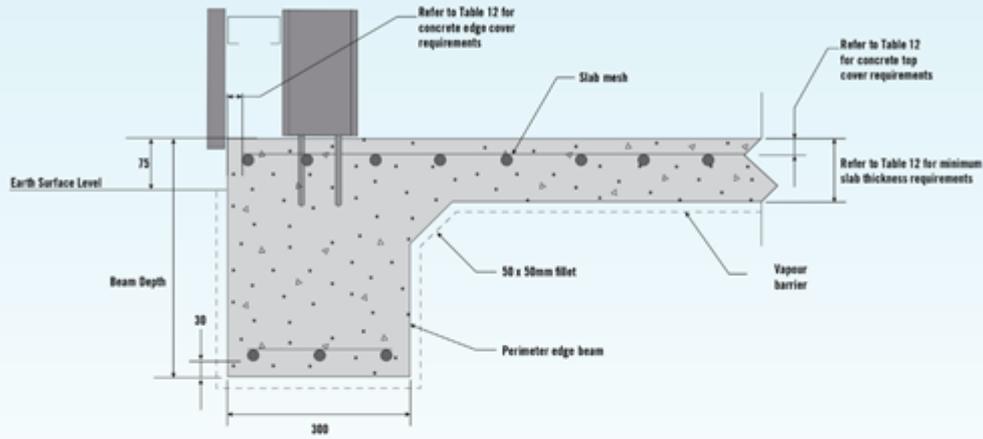


DIAGRAM 3 - TYPICAL SECTION THROUGH EDGE PERIMETER BEAM

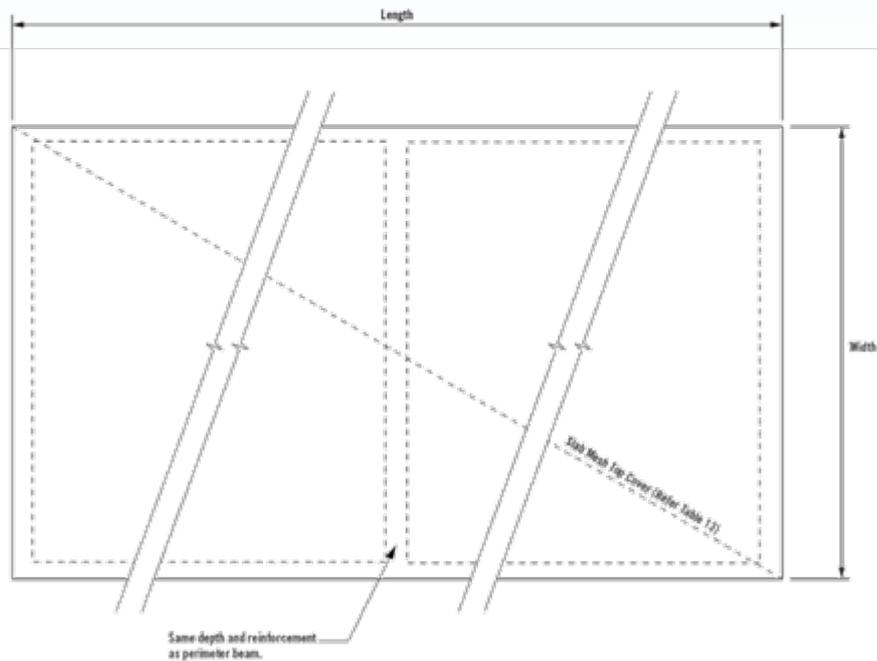


DIAGRAM 4 - INTERNAL BEAM AT GARAGE PORT INTERSECTION

NOTES & REQUIREMENTS

1. For all raft slab requirements, refer to both Stratco 1°-5° Skillion Roof Shed Construction Footing Report.



DRAWING ###1 - SKILLION FRAME CONNECTIONS

SKILLION FRAME ASSEMBLY LIST		
ITEM	DESCRIPTION	QTY
General Purpose Bracket 150	2.4mtrs, GWS, Z150 GALV.	3
High Side Column	As per Engineering	3
Low Side Column	As per Engineering	3
Skillion Rubber	As per Engineering	3
Flanged Purlin Bolt & Nut	High Tensile 12 x 10mm (108 Grade)	15
End Column	100 or 150mm C-Section, G400, Z150	3
Columns Footing Bracket	2.0mtrs, 100mm Angle, Character No: C100, Standard 30mm for C1100	3
Columns Backwashout	As per Engineering	3

NOTES:

-

EAVES CONNECTION GP BRACKET FRONT ISOMETRIC DETAIL
Flt. of 15 x 10mm Purlin Bolt & Nut: 4
 (4 per Long Leg, 2 per Short Leg)

EAVES CONNECTION GP BRACKET REAR ISOMETRIC DETAIL
Flt. of 15 x 10mm Purlin Bolt & Nut: 4
 (4 per Long Leg, 2 per Short Leg)

EAVES CONNECTION GP BRACKET REAR DETAIL
Flt. of 15 x 10mm Purlin Bolt & Nut: 4
 (4 per Long Leg, 2 per Short Leg)

FRONT ISOMETRIC VIEW

END COLUMN FRONT ISOMETRIC DETAIL

END COLUMN FOOTING CONNECTION

ALL STRATCO CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE STRATCO CONNECTIONS MANUAL. THE STRATCO CONNECTIONS MANUAL IS AVAILABLE FOR PURCHASE FROM THE STRATCO WEBSITE.

STRATCO		SKILLION FRAME CONNECTIONS	
PROJECT NO:	DATE:	SCALE:	REVISED BY:
PROJECT NO:	DATE:	SCALE:	REVISED BY:
PROJECT NO:	DATE:	SCALE:	REVISED BY:

REV	AMENDMENT	DATE	BY	CKD



DRAWING ###3 - INTERNAL KNEE BRACE CONNECTIONS - SINGLE FRAME

SKILLION FRAME ASSEMBLY LIST	
ITEM	DESCRIPTION
General Purpose Brackets L50	2.0mm GALV. 215x GALV.
High Side Columns	As per Engineering
Low Side Columns	As per Engineering
Sillion Bolter	As per Engineering
Knee Braces	As per Engineering
Plunged Purlin Bolt & Nut	High Tensile 12x 8mm (H 8 Gr-A4)
QTY	38

NOTES:

KNEE BRACE CONNECTION FRONT ISOMETRIC VIEW

PORTAL FRAME WITH KNEE BRACES FRONT ISOMETRIC VIEW

KNEE BRACE CONNECTION REAR ISOMETRIC VIEW

KNEE BRACE CONNECTION FRONT VIEW
 Knee Braces fixed to Columns & Bolter with An (DAB) Plunged Purlin Bolt per connection. Bolter & Lip of Knee Brace members not to be notched. (Column Bolter NOT to be notched).

KNEE BRACE

IF IN DOUBT, ASK.

STRATCO		TITLE: INTERNAL KNEE BRACE CONNECTIONS - SINGLE FRAME PRODUCT CODE: 114 DATE: 14/01/2022 DRAWN BY: [blank] CHECKED BY: [blank]	
PROJECT: 10113 HARTY LSP CLIENT: HARTY LSP DRAWN BY: [blank] CHECKED BY: [blank]	PROJECT CODE: 114 DATE: 14/01/2022 DRAWN BY: [blank] CHECKED BY: [blank]	DRAWN BY: [blank] CHECKED BY: [blank]	DRAWN BY: [blank] CHECKED BY: [blank]

COMPLIANCE CERTIFICATE

Form 15 Compliance certificate for building design or specification



This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>Where applicable, the description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include number, street, suburb/locality and postcode)</p> <p>.....</p> <p>..... State <u>QLD</u> Postcode</p> <p>Lot and plan details (attach list if necessary)</p> <p>.....</p> <p>Local government area the land is situated in</p> <p>.....</p>
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Stratco (Australia) Pty Ltd Skillion Roof Shed units in compliance with Stratco 1 deg. to 5 deg. Skillion Roof Shed Span Tables publication, copyright May 2024.</p> <p>All Structural components detailed in the reference documents listed in Section 4 of this certificate.</p> <p>Our certification does not relieve Stratco (Australia) Pty Ltd, as the designer and manufacturer/supplier, of their duty to determine if their products, including its parts and components, are safe and fit for intended purpose.</p> <p>Specifically excluded from this certificate are site wind speed assessments, site soil conditions, and fabrication detail dimensions.</p>
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<p>Load capacity tables and structural calculations undertaken in accordance with the relevant Australian Standards; AS/NZS 1170.0, .1, .2, AS/NZS 4600, AS 3600, and AS 4100.</p>

COMPLIANCE CERTIFICATE

Appendix – explanatory information

IMPORTANT NOTE: It is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (section 10 of the *Building Act 1975* (Building Act) and sections 73 and 77 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

What is the purpose of this form? (section 10 of the Building Act and sections 73 and 77 of the BR 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

Can a manufacturer or supplier give this Form 15?

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design-specification).

A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

Competent person (section 10 of the Building Act 1975 and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

What is required if a manufacturer or supplier did not do the design work for the product?

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design or specification) – (Sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

COMPLIANCE CERTIFICATE

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

COMPLIANCE CERTIFICATE

Building Act 1993
 Section 238(1)(a)
 Building Regulations 2018
 Regulation 126

CERTIFICATE OF COMPLIANCE FOR PROPOSED BUILDING WORK

This certificate is issued to

Relevant building surveyor

This certificate is issued in relation to the proposed building work at:

Sites within state of Victoria compliant with the Stratco document setting out the design as referenced below

Nature of proposed building work

Construction of a new shed

NCC 2022 Building Code of Australia – Volume Two, Section H, Part H1 applicable to this certificate

Building classification

Stratco Skillion 1-5° Skillion Roof Sheds Class 10a

Prescribed class of building work for which this certificate is issued:

Design or part of the design of building work relating to Structural matter

Documents setting out the design that is certified by this certificate

Document no.	Document date	Type of document (e.g. drawings, computations, specifications, calculations etc.)	Number of pages	Prepared by
-	May 2024	Stratco 1-5° Skillion Roof Shed Span Tables	46	Stratco (Australia) Pty Ltd

The design certified by this certificate complies with the following provisions of Building Act 1993, Building Regulations 2018 or National Construction Code

Act, Regulation or NCC	Section, Regulation, Part, Performance Requirement or other provision
NCC 2022	Building Code of Australia – Volume Two, Section H, Part H1

I certify that the design set out in the documents listed above complies with the provisions set out above. I believe that I hold the required skills, experience and knowledge to issue this certificate and can demonstrate this if required to do so.

Engineer

Name: Matthew Mamone
 Address: Suite 3/83 Fullarton Road, Kent Town SA 5067
 Email: mattm@gamaconsulting.com.au
 Category and class: Civil Engineer
 Registration no.: PE 0002861
 Date of issue of certificate: 20/08/2024

Signature:



Approved by the Victorian Building Authority

Page 1 of 1



NOTES

A large area of the page is filled with horizontal lines, serving as a template for taking notes. The lines are evenly spaced and extend across most of the page width.



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11.2.2 PA25/11 - #2 LOT 2048 MCKENZIE STREET COOLGARDIE (WARDEN FINNERTY'S RESIDENCE (FMR)) - PROPOSED UAT AND RAMP UPGRADE

Location: #2 Lot 2068 McKenzie Street Warden Finnerty's Residence (fmr)

Applicant: H&H Architects – Owner: Crown Land (State of WA)

Disclosure of Interest: Nil

Date: 16 February 2026

Author: Jana Joubert, Town Planning Consultant

SUMMARY

The application is seeking development approval for a like-for-like replacement of an ablution block and access ramp at Warden Finnerty's Residence (fmr), Lot 2068 McKenzie Street, Coolgardie.

BACKGROUND

H&H Architects have submitted a development application on behalf of the National Trust of Australia (WA), who are seeking to replace an existing non-functioning transportable toilet block with a new like-for-like, universally accessible toilet block at Warden Finnerty's Residence (fmr), located at 2 Lot 2068 McKenzie Street, Coolgardie.

The existing transportable toilet block located behind the house is aging and no longer fit for purpose. The building and ramp are in poor condition, near collapse and do not meet current universal access codes.

A suite of development plans is included in ***Attachment 1***.

Due to the building's status as a State Listed Heritage Place, any proposal that may affect its heritage values or fabric triggers statutory processes and specialist assessment. To this end, a Development Application was prepared under delegation by the National Trust of Australia (WA), for determination by the Shire.

Site Description

Warden Finnerty's Resident (fmr) is located south of Bayley Street and to the east of McKenzie Street, on Lot 2068 on Deposited Plan 56695.

The residence is the only building of its kind still standing in Coolgardie and is historically significant as the former residence of the local Mining Warden. It was originally constructed for Warden Finnerty, the first warden of Coolgardie (from 1893), who was moved from Southern Cross when the Yilgam goldfields were superseded by those at Coolgardie.

The place is also architecturally significant for the way its design responds to function and climate, incorporating features that later became more widely adopted (including elements such as verandahs, louvred shutters and a ventilated roof lantern).

The place is presently used as a museum and is opened to the public as a visitor attraction. Bookings and tours are managed through the Coolgardie Visitor Centre, which coordinates enquiries and opening times.

A location plan is included at ***Attachment 2***.

COMMENT

Scope of Works

The scope of works includes a new transportable toilet building in the same location as the existing transportable toilet building to service connection to the existing septic tank system. The existing toilet block is to be replaced by a UAT, or 'Universal Access Toilet', which are toilets designed to be accessible to individuals with reduced mobility, ensuring compliance with accessibility standards.

The proposal includes the installation of a new compliant access ramp.

Minimal site modification is required to accommodate the block and ramp. In addition, the works:

- are physically and visually separated from the heritage-listed residence, which is situated a further approx. 34m to the east on the lot;
- do not involve any alterations, additions or modifications to the residence;
- do not affect any identified heritage fabric, architectural elements, or features of significance; and
- will not be visible from the public realm or result in any discernible change to the heritage streetscape.

The proposal therefore constitutes minor ancillary works that are subordinate to the primary heritage place and do not alter its significance, setting, or integrity.

Local Planning Framework

The subject site including the immediate surrounding lots are reserved for Public Open Space under the Shire of Coolgardie Local Planning Scheme No. 5 (LPS5), the objectives of which are:

- *To set aside areas for public open space, particularly those established under the Planning and Development Act 2005 s.152.*
- *To provide for a range of active and passive recreation uses such as recreation buildings and courts and associated car parking and drainage.*

The site is accessed via McKenzie Street and is well separated from adjoining properties. Surrounding land uses include aged persons' accommodation (a retirement village) to the west, with residential areas predominantly to the east and north-west of the subject site.

State Heritage Listing

Warden Finnerty's Residence (fmr), Coolgardie (State Register Place No.00577) is a place of state-level heritage significance.

The place's entry on the State Register means the Heritage Council will take an active role in advising or determining proposals that materially affect its cultural heritage significance. Conservation principles established in the existing Conservation Plan and the State Register assessment must guide any intervention.

Local Assessment

The place is part of the National Trust's place portfolio and sits within a broader cultural landscape that includes other prominent heritage places and Aboriginal cultural heritage values in the Coolgardie area.

It was recorded as being a category 2 level or of 'high' significance in the Shire's Municipal Inventory in 1993, now known as the Local Heritage Survey (LHS). Places that are listed on the LHS only and not identified on a Heritage List are not heritage-protected places and therefore do not have the same level of statutory protections under the Scheme.

However, the Shire encourages the conservation and adaptation of these places where possible, as they contribute to the social and cultural values and history of the locality.

The proposal is consistent with the Shire of Coolgardie Strategic Community Plan strategy for the effective management of infrastructure, heritage and environment.

The proposal has therefore been assessed against the requirements of the Scheme, and any relevant State and local policies as outlined in the Legislation and Policy section of this report.

Conclusion

The development application for conservation works at Warden Finnerty's Residence (fmr), Lot 2068 McKenzie Street, Coolgardie, has been assessed against the relevant legislation and planning requirements.

The proposal is consistent with the objectives and compliant with the requirements of LPS 5 and relevant State and local policies.

Moreover, the proponent has demonstrated that the proposal will have a positive benefit on the cultural heritage significant of the place, as well as provide much needed facilities for tourists and visitors. The existing toilet facilities are not significant fabric and the proposed works will not impact any significant fabric, or views and vistas from or to, the residence.

It is therefore recommended that the application be approved, subject to a number of standard conditions.

Options

With respect to the proposal, the following options are available to Council: -

- Option 1: Approve the proposal.
- Option 2: Approve the proposal with conditions.
- Option 3: Refuse the proposal.

CONSULTATION

Public Consultation

Nil.

Referrals/consultation with Government/Service Agencies

Department of Planning, Lands and Heritage

Development applications for places on the State Register are required to be formally referred to the Heritage Council of Western Australia (HCWA) via the Department of Planning, Lands and Heritage (DPLH) for comment, unless the proposed works are minor, or when formal written advice has already been obtained by the proponent, prior to lodgement of a development application.

Under *section 74* of the *Heritage Act 2018*, the Heritage Council of WA is empowered to delegate its powers and duties to any person (except the power of delegation itself). Specifically, *section 19(1)* of the *Heritage Act 2018* allows delegation to a person, and the Heritage Council has exercised this power in respect of places owned or managed by the National Trust where proposed works are minor or where the impact on heritage values is negligible. The National Trust of Western Australia manages a diverse portfolio of over 60 properties across the state.

Accordingly, advice was sought by the National Trust of WA from the DPLH as to whether it would be appropriate in the circumstances to utilise its delegation under *section 74 of the Heritage Act 2018*. On 10 December 2025, the Department responded by saying that it supports the National Trust using its delegation (Refer to **Attachment 3**).

The proposal was therefore referred by the proponent to the National Trust of WA for comment and support. The formal advice in relation to the proposal is included in **Attachment 4**.

STATUTORY ENVIRONMENT

Legislation

- *Heritage Act 2018*
- *Planning and Development (Local Planning Schemes) Regulations 2015*
- *Shire of Coolgardie Local Planning Scheme No.5*

State Government Policies

- *State Planning Policy 3.5 – Historic Heritage Conservation (SPP 3.5)*

Structure Plans/Activity Centre Plans

None

Detailed Area Plans/Local Development Plans

None

Local Policies

None

Relevant Guidelines

None

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

A thriving local economy

Encouraging the development of local business education and support

Supporting local businesses in the Shire

Accountable and effective leaders

Developing strong partnerships with stakeholders for the benefit of our community

Ensuring the Shire of Coolgardie is well positioned to meet future needs

ATTACHMENTS

1. **Development Plans**
2. **Location Plan**

3. Delegation under s74 of the Heritage Act 2018
4. National Trust of WA Advice

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That Council: -

1. Approve Development Application reference PA25/11 and accompanying plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the Shire of Coolgardie's Local Planning Scheme No.5, subject to the following conditions:

Conditions

1. This decision constitutes planning approval only and is valid for a period of 2 years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. This approval only relates to the proposed works as indicated on the approved plans. It does not relate to any other development on the lot.
3. Construction works are to be undertaken in accordance with the approved development application, engineering drawings and specifications to the satisfaction of the Shire.

Advice Notes

1. This is a Development Application only and does not remove the responsibility of the applicant/owner to comply with all relevant building, health and engineering requirements of the Shire, or with any requirements of the Shire of Coolgardie Local Planning Scheme No.5 or with the requirements of any external agency.
2. The applicant is advised that the operation/development is to comply with the *Environment Protection (Noise) Regulations 1997*.

COUNCIL RESOLUTION #18/2026**Moved: Cr Tracey Rathbone****Seconded: Cr Anthony Ball****That Council: -**

1. Approve Development Application reference PA25/11 and accompanying plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the Shire of Coolgardie's Local Planning Scheme No.5, subject to the following conditions:

Conditions

1. This decision constitutes planning approval only and is valid for a period of 2 years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. This approval only relates to the proposed works as indicated on the approved plans. It does not relate to any other development on the lot.
3. Constructions works are to be undertaken in accordance with the approved development application, engineering drawings and specifications to the satisfaction of the Shire.

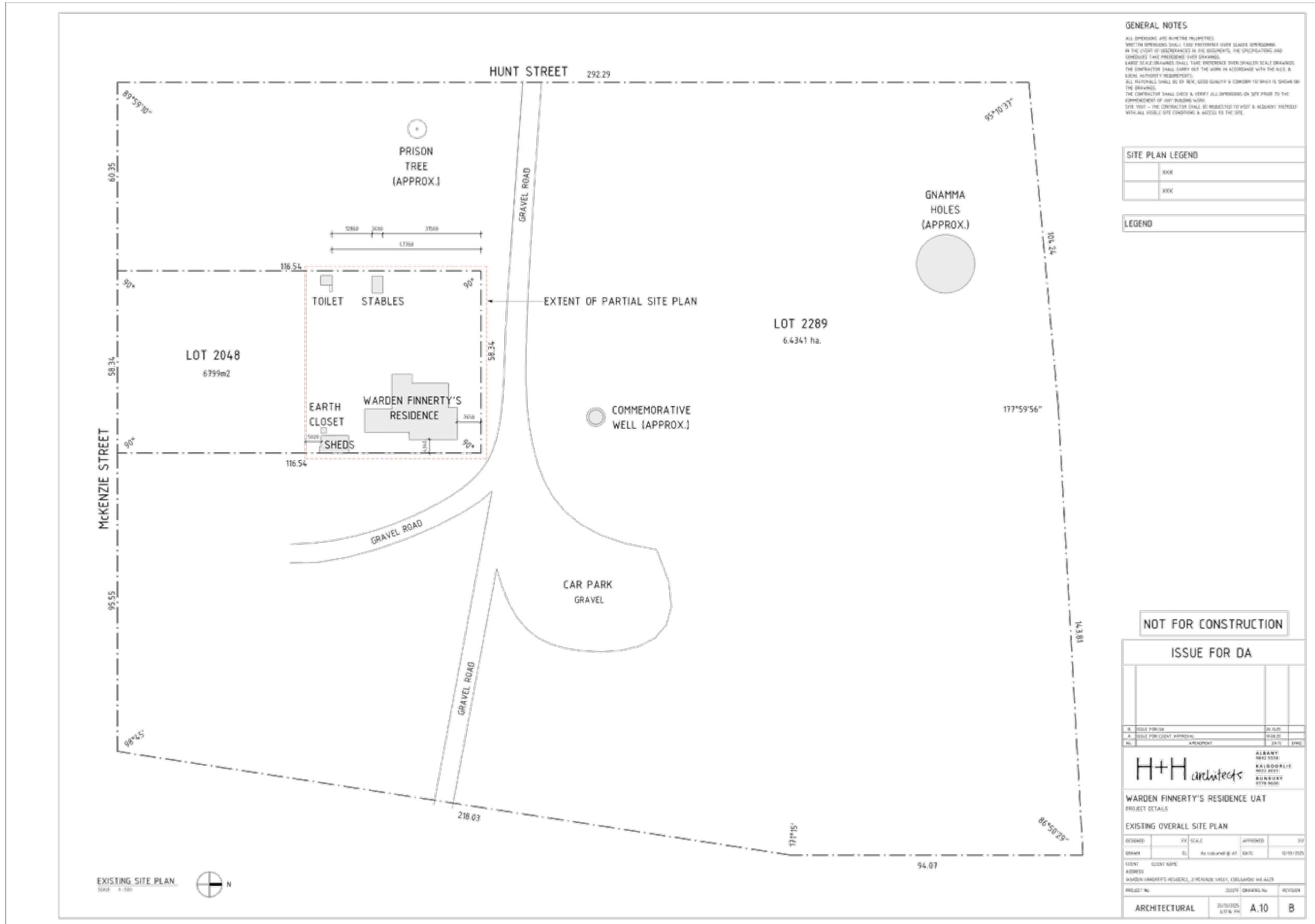
Advice Notes

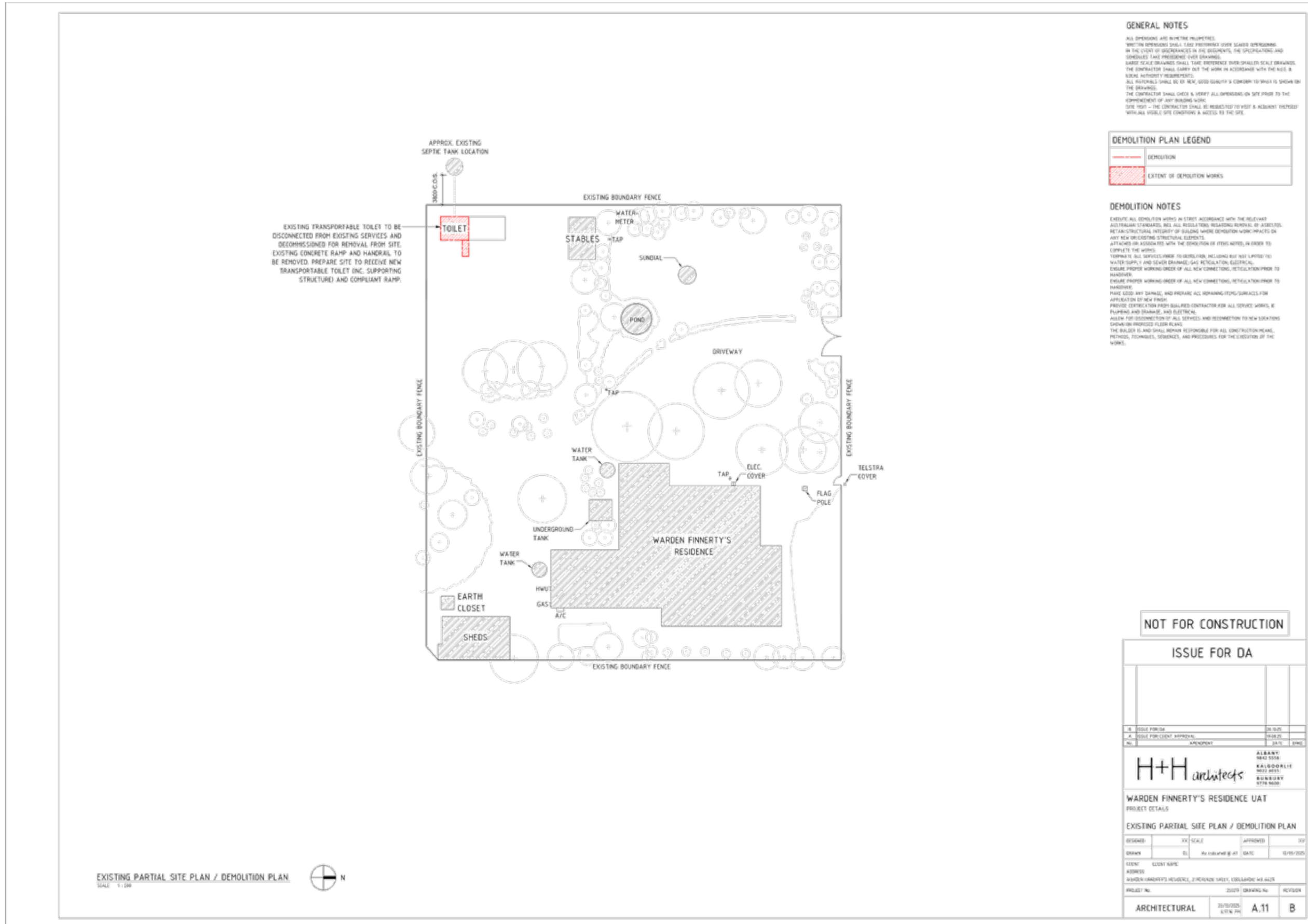
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2. The applicant is advised that the operation/development is to comply with the *Environment Protection (Noise) Regulations 1997*.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

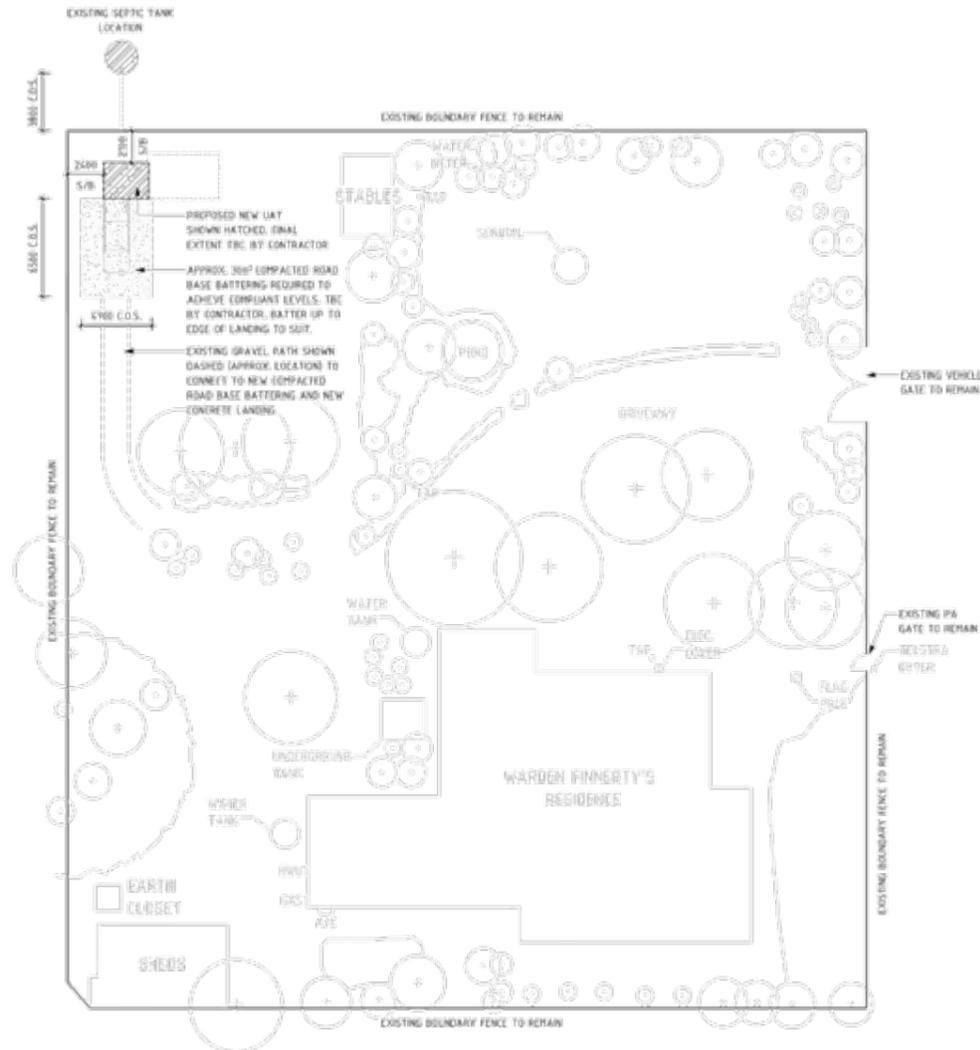
CARRIED 6/0





GENERAL NOTES

ALL DIMENSIONS ARE IN METRE MILLIMETRES.
 WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 IN THE EVENT OF DISCREPANCIES IN THE DOCUMENTS, THE SPECIFICATIONS AND
 CONDITIONS TAKE PRECEDENCE OVER DRAWINGS.
 LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
 THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE A.E.C. &
 LOCAL AUTHORITY REQUIREMENTS.
 ALL MATERIALS SHALL BE OF NEW, GOOD QUALITY & CONFORM TO WHAT IS SHOWN ON
 THE DRAWINGS.
 THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE
 COMMENCEMENT OF ANY BUILDING WORK.
 SITE VISIT - THE CONTRACTOR SHALL BE REQUESTED TO VISIT & ADVISORY PREPARED
 WITH ALL VISIBLE SITE CONDITIONS & ACCESS TO THE SITE.



PROPOSED PARTIAL SITE PLAN
 SCALE 1:200



NOT FOR CONSTRUCTION

ISSUE FOR DA

ISSUE FOR DA	20/02/2025
ISSUE FOR COUNCIL APPROVAL	19/02/25
NO.	AMENDMENT

H+H architects
 ALBANY 3840 5558
 KALGOORLIE 9022 4651
 BUNBURY 9776 9650

WARDEN FINNERTY'S RESIDENCE UAT
 PROJECT DETAILS

PROPOSED PARTIAL SITE PLAN

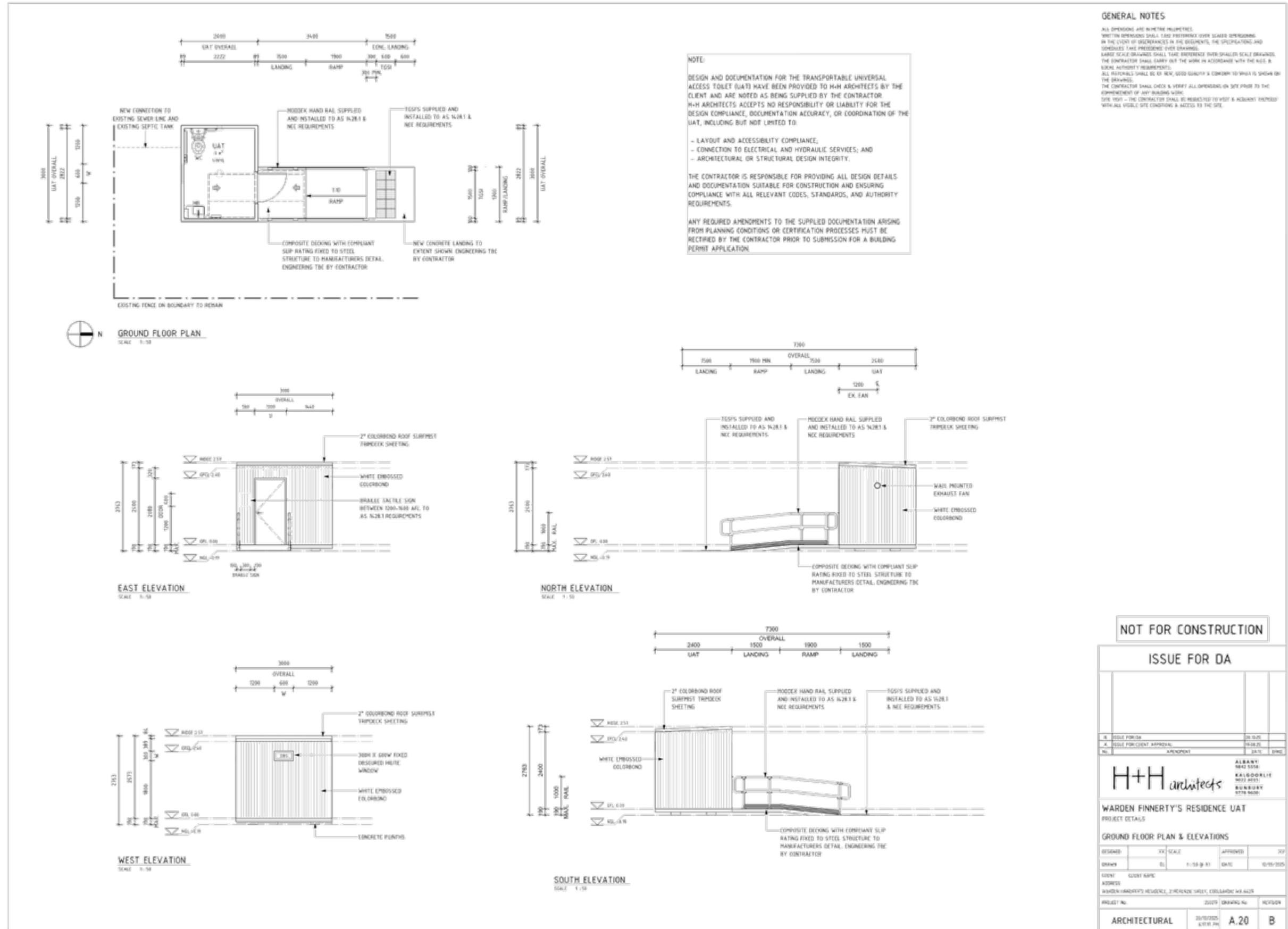
DESIGNED	BY	SCALE	APPROVED	BY
DRAN	DL	1:200 @ A1	DATE	10/18/2025

CLIENT: CLIENT NAME

WARDEN FINNERTY'S RESIDENCE, JEROME STREET, EDDLEBORO VIC 3428

PROJECT No. 20219 DRAWING No. REVISED

ARCHITECTURAL	20/02/2025 5:01 PM	A.12	B
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NOT FOR CONSTRUCTION

ISSUE FOR DA

ISSUE FOR DA	20/02/25
ISSUE FOR PERMIT APPROVAL	19/02/25
NO.	AMENDMENT

H+H architects

ALBANY 9840 5558
 KALGOORLIE 9022 4651
 BUNBURY 9578 9650

WARDEN FINNERTY'S RESIDENCE UAT
 PROJECT DETAILS

GROUND FLOOR PLAN & ELEVATIONS

DESIGNED	SCALE	APPROVED	DATE
DRW	1:50 @ A1	DATE	10/18/2025

CLIENT: WARDEN FINNERTY

WARDEN FINNERTY'S RESIDENCE, 21 HERMAN STREET, EDDLEBORO VIC 3428

PROJECT No.	20219	DRAWING No.	RC/FLOOR
ARCHITECTURAL	20/02/25 5:01 PM	A.20	B





Our Ref: 20251218 WARD ltr
delegate to Shire Coolgardie
Enquiries: Louise Young

Development Approvals
Shire of Coolgardie
PO Box 138
KAMBALDA WA 6442

Attn: Development Approvals

To whom it may concern

**RE: Proposed UAT and ramp upgrade works - Warden Finnerty's Residence,
Coolgardie**

This letter is written in support of a Development Application (DA) submitted in relation to proposed works at Warden Finnerty's Residence located at 2 McKenzie Street, Coolgardie.

Works is intended to replace an existing non-functioning transportable toilet block with a new like-for-like, universally accessible toilet block.

Warden Finnerty's Residence in Coolgardie is on the State Register of Heritage Places - ID 00577. Therefore a DA is required in relation to proposed works, and the decision-maker is required to consider the advice of the Heritage Council.

Under s74 of the *Heritage Act 2018* the Heritage Council may delegate the provision of advice. I hold a delegation under s74 of the Act.

I have sought advice from the Department of Planning, Lands and Heritage as to whether it would be appropriate in the circumstances for me to utilise my delegation. The Department supports the use of the delegation.

I support the proposed works.

Yours sincerely,

A handwritten signature in blue ink that reads 'Kelly Rippingale'.

Kelly Rippingale
Senior Manager Asset Management

18/012/2025



OFFICER ASSESSMENT

PLACE NO: 00577 DATE: 15/12/2025
 PLACE NAME: House + Trees (fmr Warden Finnerty's House), 2 McKenzie St
 Coolgardie
 OFFICER: Louise Young
 PROJECT: Proposed UAT and ramp upgrade - Warden Finnerty's Residence,
 Coolgardie

BACKGROUND

The National Trust manages Warden Finnerty's Residence in Coolgardie on behalf of the State Government, under a Management Order. The Residence is leased to the Shire of Coolgardie and is opened to the public by a resident caretaker.

The Residence is included on the State Register of Heritage Places - ID 00577. Therefore, a Development Application (DA) to the Shire of Coolgardie is required in relation to proposed works.

The existing ablution building located behind the house is aging and is no longer fit for purpose. The building and ramp are in poor condition, near collapse and do not meet current universal access codes. Currently a portaloos is at the property to provide toilet facilities for visitors.

SIGNIFICANCE

'House & Trees (fmr Warden Finnerty's House)' at 2 McKenzie Street, Coolgardie, is included on the State Register of Heritage Places with the following Statement of Significance:

A large single storeyed house which demonstrates clearly the taste and style of an imposing residence of the early 1890's. The construction is stone walls, brick quoins and has generous protective verandahs, louvred timber shutters to full height of windows, elaborate joinery to gables, doors and windows. The ventilated roof lantern later became a typical feature of goldfields buildings.

The place has been assessed by the National Trust of Australia (WA) and has been entered in the Register held by that body as a classified building with the following statement of significance:

The important architectural character of the building and its historic associations, as well as its now unique existence in Coolgardie. The place has also been assessed by the Australian Heritage Commission and has been entered in the Register of the National Estate with the following statement of significance:

20251204 - memo from officer to delegate

This building, the only one of its type surviving in Coolgardie, is historically significant in being the former residence of the local mining warden. The house is architecturally important for the way it reflects the purpose for which it was built and for its distinctive design features, some of which later became much more widely used

PROPOSED WORK

A summary of the proposed work is as follows:

- Remove existing transportable toilet block that is no longer fit for purpose
- Install a new like-for-like transportable, universal access, toilet block
- Install a new compliant access ramp

This work is documented in the attached drawings, which the Trust intends to submit with the DA.

ASSESSMENT OF IMPACT

A new transportable toilet building is in the same location as the existing transportable toilet building to service connection to the existing septic tank system. Minimal site modification is required to accommodate the new building and services. The design of the building is simple, in light colours and is positioned on the edge of the garden and house site. The ramp design is minimal with lightweight materials, whilst still meeting the current codes for accessibility.

In accordance with the Heritage Council's Delegation Framework (July 2023), and with reference to Schedule 1 of the Framework and relevant guidelines, I have assessed the impact of the proposed work as having No Discernible Impact on the cultural significance of the place.

I also think there is an argument that there is a positive impact, because it supports the ongoing opening of the place to the public.

ADVICE FROM DEPARTMENT

Advice has been sought from the Department of Planning, Lands and Heritage as to whether it would be appropriate in the circumstances to utilise your delegation under section 74 of the *Heritage Act 2018*.

On 10 December 2025, the Department responded by saying that it supports the National Trust using its delegation as the existing wc facilities are not significant fabric and the proposed works will not impact any significant fabric, or views and vistas from or to, the Residence.

ADVICE TO DECISION-MAKER

In accordance with the Delegation Framework, you are required to determine whether your advice is to 'not object' or 'support' the proposed works.

.../20251204 - memo from officer to delegate

I recommend that you support the proposed works. Accordingly, I have drafted a letter for your consideration to the Shire of Coolgardie.

Yours sincerely



Louise Young

Heritage Project Officer

.../20251204 - memo from officer to delegate

11.2.3 BINNERINGIE ROAD USER AGREEMENT

Location: Binneringie Road / Bald Hill Lithium Mine
Applicant: Mineral Resources / Litcho No. 2 Pty Ltd
Disclosure of Interest: Nil
Date: 13 February 2026
Author: Steven Mannion, Works Supervisor

SUMMARY

The Operator has sought to obtain the Shire's Conditional Approval for the use of the Road for a Long Term Haulage campaign exceeding 25,000 tonnes.

In consideration for the Operator's use of the Road for the Haulage Campaign, the Shire and the Operator have proposed to enter into this Agreement pursuant to the Conditional Approval, including in relation to the upgrading and maintenance of the Road.

BACKGROUND

Previous Binneringie Road Maintenance Agreement expired 24th April 2024, following two-year period. Reference to Council Resolution #79/2022 – Request for use of restricted access vehicles on Shire of Coolgardie Road Asset – Binneringie Road resolved at Ordinary Council Meeting 26th April 2022.

As per Council's Policy 3.09 (Haulage Campaigns) - Long Term Campaign: where a cartage campaign exceeds 25,000 tonnes or 100 return trips in any annual period, or more than six return trips in any week or part thereof; the principle - Lithco No 2 Pty Ltd - must apply to the Shire of Coolgardie for use of the Shire's road network.

At Council meeting held 24 July 2018, resolved (RES 130/18):

- 1. The CEO negotiate with Paris with regards to the remaining upgrade works for Binneringie Road as soon as possible and get the required works done. If Paris does not complete the works, it is proposed the Shire cost and complete the works and charge Paris.*
- 2. The CEO negotiate with a contractor to determine if an agreement can be reached for the maintenance of 68 km of Binneringie Road. The agreement to be brought to Council for consideration.*
- 3. The CEO negotiate with Lithco No 2 Pty Ltd to contribute \$168,000 towards maintenance of the slk 0 to slk 28 of Binneringie Road to be paid for in quarterly instalments in 2018/2019.*
- 4. The CEO write to Lithco Pty Ltd requesting payment to the Shire in quarterly instalments in 2018/2019 for the \$233,067 spent on upgrade of the first 28 km of Binneringie Road Shire staff undertake a quarterly audit of the 68km of Binneringie Road.*

At Council meeting held 28 August 2018, resolved (RES 173/18) That Council:

- 1. APPROVES the attached Deed of agreement as amended for road upgrade and maintenance contribution between the Shire of Coolgardie and Lithco No.2 Pty Ltd.*
- 2. AUTHORISE the Shire President and the Chief Executive Officer to sign and affix the common seal in accordance with part 19.1 (2) of the standing local law to the attached Deed of agreement between the Shire of Coolgardie and Lithco No. 2 Pty Ltd.*

At Council meeting held 26th April 2022, resolved (RES #79/2022) That Council:

1. *APPROVE the application from Lithco No 2 Pty Ltd (the Principal) to use a total of 65kms of Binneringie Road - for a haulage campaign, in accordance with Policy 044 'Haulage Campaigns', comprising approximately 205,000 tonnes, from 01 May 2022 to 30 April 2023, , and conditional on:*
 - *Lithco No 2 Pty Ltd upgrading and maintaining 65kms of Binneringie Road for the term of the haulage campaign and as per the Maintenance Memorandum.*
 - *The CEO negotiating an annual maintenance agreement between the Shire of Coolgardie and Lithco No.2 Pty Ltd.*
 - *Lithco No 2 Pty Ltd write to the Chief Executive Officer by the 31st May 2023 with the annual amount spent on maintaining Binneringie Road under confidential cover.*
 - *Shire staff undertaking a quarterly audit of the 65km of Binneringie Road.*
2. *AUTHORISE the CEO to determine any request from the Company to amend the dates applicable to the request, but only on the basis that the relevant Council Policies be applied accordingly.*

COMMENT

The gravel road is currently in a reasonable condition with isolated issues and defects for remediation identified in recent road inspections carried out on the 5th & 11th February by the Shires Works Crew. Drainage defects were particularly evident following recent the recent rainfall and weather event on the 4th February 2026.

The attached Maintenance Agreement commits Lithco No. 2 to undertake upgrade/maintenance of Binneringie Road. Lithco plan initial works or improvements to bring the current road up to standard, inclusive but not limited to grading, re-sheeting, and ground works as necessary.

The Main Roads Mapping Tool, confirms the appropriate RAV network status that is a PBS tri Drive Network 3B.3. to Bald Hill Mine site.

Following completion of the initial works Lithco commits to maintenance of the road by performing the following:

1. Routine road maintenance;
2. Periodic road maintenance; and
3. Performance of any other works required.

To ensure the applicant is meeting its obligations, Shire staff will undertake quarterly Road Condition Inspections on Binneringie Road.

CONSULTATION

- Lithco No 2 Pty Ltd Management
- Shire of Coolgardie Management

STATUTORY ENVIRONMENT

- *Existing Local Road Corridor*
- *Road Traffic (Administration) Act 2008 Section 132(4)*

POLICY IMPLICATIONS

- *Policy 3.09 – Haulage Campaigns*
- *Policy 3.10 – Heavy Vehicles Conditions for use on Shire Roads*

FINANCIAL IMPLICATIONS

The Shire stands to make considerable savings by having Lithco fund the upgrade and maintenance works on its road asset.

To adequately maintain the entire length of Binneringie Road including regularly maintenance grade and roll the road surface, grade outside and off shoot drains, maintain shoulders and apply water to the full length of the road surface would cost the Shire well in excess of its current allocation.

STRATEGIC IMPLICATIONS**A thriving local economy**

Supporting and encouraging mining and processing industries

Accountable and effective leaders

Demonstrating sound financial management and plans for the Shire's long term financial sustainability

An inclusive, safe and vibrant community

Collaborating with stakeholders to develop and expand community safety initiatives

Effective management of infrastructure, heritage and environment

Maintaining and renewing infrastructure and building assets

ATTACHMENTS

1. **Road User Agreement**
2. **Road User Agreement Map**

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That Council:

1. APPROVE the request from Lithco No 2 Pty Ltd to use of Binneringie Road in accordance with Policy 3.09 'Haulage Campaigns' and Policy 3.10 'Heavy Vehicles Conditions for use on Shire Roads' conditional on:
 - a. The CEO issues CA07 Letters of Authority to the operator in compliance with the requirements for a valid RAV approval.
 - b. The CEO monitors Binneringie Road to ensure upgrading and maintenance are being conducted as required for the duration of the haulage campaign and as per the proposed Road User Agreement.

MOTION

Moved: Cr Tracey Rathbone
Seconded: Cr Julie-Ann Williams

That Council:

1. **APPROVE** the request from Lithco No 2 Pty Ltd to use of Binneringie Road in accordance with Policy 3.09 'Haulage Campaigns' and Policy 3.10 'Heavy Vehicles Conditions for use on Shire Roads' conditional on:
 - a. The CEO issues CA07 Letters of Authority to the operator in compliance with the requirements for a valid RAV approval.
 - b. The CEO monitors Binneringie Road to ensure upgrading and maintenance are being conducted as required for the duration of the haulage campaign and as per the proposed Road User Agreement.

COUNCIL RESOLUTION #19/2026

Moved: Cr Tracey Rathbone
Seconded: Cr Anthony Ball

That Council accept the alternative recommendation for consideration.

That Council:

1. **APPROVE** the request from Lithco No 2 Pty Ltd to use of Binneringie Road in accordance with Policy 3.09 'Haulage Campaigns' and Policy 3.10 'Heavy Vehicles Conditions for use on Shire Roads' conditional on:
 - a. The CEO issues CA07 Letters of Authority to the operator in compliance with the requirements for a valid RAV approval.
 - b. The CEO monitors Binneringie Road to ensure upgrading and maintenance are being conducted as required for the duration of the haulage campaign and as per the proposed Road User Agreement.
 - c. The CEO amend section 1.5 of the Road User Agreement to include a review date after 12 months of the campaign performance.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

Cr Tracey Rathbone's reason for an alternative recommendation:

To establish a term that allows Council to have the opportunity to review practices, upgrades, any works done and ensure we stay on top of this and monitor what we are doing. Should there be any reason for discussion around the future impact with increased haulage, this demonstrates due diligence by having a time frame identified.

COUNCIL RESOLUTION #20/2026**Moved: Cr Tracey Rathbone****Seconded: Cr Julie-Ann Williams****That Council:**

1. **APPROVE** the request from Lithco No 2 Pty Ltd to use of Binneringie Road in accordance with Policy 3.09 'Haulage Campaigns' and Policy 3.10 'Heavy Vehicles Conditions for use on Shire Roads' conditional on:
 - a. The CEO issues CA07 Letters of Authority to the operator in compliance with the requirements for a valid RAV approval.
 - b. The CEO monitors Binneringie Road to ensure upgrading and maintenance are being conducted as required for the duration of the haulage campaign and as per the proposed Road User Agreement.
 - c. The CEO amend section 1.5 of the Road User Agreement to include a review date after 12 months of the campaign performance.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0



Road Use Agreement

between

Lithco No. 2 Pty Ltd (ACN 612 726 922)

and

Shire of Coolgardie (ABN 89 883 388 617)

Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



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Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



Date:

Parties

1. **Lithco No. 2 Pty Ltd** (ACN 612 726 922) of 20 Walters Drive, Osborne Park WA 6017 (Operator).
2. **Shire of Coolgardie** (ABN 89 883 388 617) of 138, Kambalda, Western Australia 6442 (Shire).

Recitals

1. Definitions and Interpretation

1.1 Definitions

In this Agreement:

Agreement means this this document, as varied, novated or replaced from time to time.

Bald Hill Mine Site means the Operator's mine site from which the Spodumene concentrate, the subject of the Haulage Campaign, is to be hauled.

Business Day means a day that is not a Saturday, Sunday, bank holiday or public holiday observed in Perth, Western Australia.

Claim means any claim, notice, demand, action, proceeding, litigation, investigation or judgment whether based in contract, tort, statute or otherwise.

Commencement Date means the date on which the last Party to execute this Agreement, executes this Agreement.

Conditional Approval means the Shire's conditional approval, in the terms of **Council Resolution No. [please insert]** on 24 February 2026, to the application from the Operator, in respect of the Haulage Campaign, under the Council Policies.

Confidential Information means information of, or given by, one Party (**Providing Party**) to the other Party (**Receiving Party**), that:

- (a) is by its nature confidential;
 - (b) is designated by the Providing Party as being confidential;
 - (c) the Receiving Party knows or ought to know is confidential;
 - (d) is information relating to the business, operations and affairs of a Party or its Personnel;
 - (e) includes the terms of this Agreement; or
 - (f) is information exchanged between the Parties in connection with this Agreement, whether prior to or following the Commencement Date,
- but does not include information that,
- (g) is or becomes public knowledge, other than by a breach of this Agreement or by any other unlawful means;
 - (h) is in the possession of the Receiving Party without restriction in relation to disclosure before the date of receipt from the Providing Party; or
 - (i) has been independently developed or acquired by the Receiving Party.

Corporations Act means the *Corporations Act 2001* (Cth).

Council Policies means:

- (a) Council Policy No. 3.09 Haulage Campaigns; and



Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie

- (b) Council Policy No. 3.10 Heavy Vehicle Conditions for use on Shire Roads.

Counterparty means:

- (a) in respect of the Operator, the Shire; and
(b) in respect of the Shire, the Operator.

District means the district of the Shire.

Encumbrance means any security interest, mortgage, charge, bill of sale, pledge, deposit, lien, encumbrance, hypothecation, agreement or arrangement for the retention of title, and any other right, interest, power or arrangement of any nature having the purpose or effect of providing security for, or otherwise protecting against default in respect of, the payment of a loan or other financial obligation or the performance of any other obligation of any person, and includes any agreement to grant or create any of the foregoing.

Force Majeure means any one or more of the following events:

- (a) damage by fire, explosion, war terrorism and acts of terrorism or civil commotion;
(b) lightning, flood, cyclone, earthquake or other natural disasters;
(c) nuclear or biological contamination, ionising radiation or contamination by radioactivity;

but only if and to the extent that:

- (a) despite the exercise of reasonable diligence, it cannot be (or be caused to be) prevented, avoided, or removed by the Party seeking to rely on the event;
(b) it adversely affects (including in cost and/or time) the ability of a Party to perform its obligations under this Agreement; and
(c) the Party wishing to rely on the event has taken all reasonable precautions, due care and reasonable alternative measures in order to avoid the effect of that event on its ability to perform its obligations under this Agreement (and to mitigate the consequences of it),

and such event is not substantially the direct or indirect result of the material failure of the Party wishing to rely on the event to perform any of its obligations under this Agreement.

Governmental Agency means any government or any governmental, semi-governmental, administrative, fiscal or judicial body, department, commission, authority, tribunal, agency or entity in Australia (whether federal, state or local) or any other part of the world.

Haulage Campaign means the Operator's proposal - the subject of the Conditional Approval, to use the Road to haul Spodumene concentrate, during the Term, from its Bald Hill Mine Site.

Initial Road Condition Report means the report on the condition of the Road, prepared by the Operator.

Intersection means the intersection of Binneringie Road and the Coolgardie-Esperance Highway.

Law includes any constitution or provision, treaty, decree, convention, statute, Act, regulation, rule, ordinance, proclamation, subordinate legislation, delegated legislation, by-law, judgment, rule of common law or equity, rule, ruling or guideline by a competent entity or Governmental Agency exercising jurisdiction in the relevant matter.

Liabilities means all liabilities, losses, damages, outgoings, costs and expenses of whatever description.

Party means a party to this Agreement.

Periodic Maintenance means maintenance of the Road on a bi-annual basis or post a major weather event.

Personnel means a Party and its Related Bodies Corporate, and each of their respective officers, employees, agents, contractors, sub-contractors and invitees.

Related Body Corporate has the meaning given to it by sections 9 and 50 of the Corporations Act.



Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie

Required Standards, in relation to the condition of the Road (including upgrades and repairs to, and maintenance of, the Road) means the standards that are required by the Shire, acting reasonably, having regard to the Austroad Guides (published by Austroad Ltd) and other guidelines set out in the Council Policies.

Road means:

- (a) that part of Binneringie Road from the Intersection and for a distance of about 68 kilometres to the entry to the Bald Hill Mine site; and
- (b) the Intersection,
as detailed on the map at Schedule 1.

Routine Maintenance means maintenance of the Road on a monthly basis.

Term means the term of this Agreement referred to in clause 1.5.

Written Law has the same meaning given to that term in the *Interpretation Act 1984 (WA)*.

1.2 Interpretation

In this Agreement:

- (a) words denoting:
 - (i) the singular includes the plural and vice versa; and
 - (ii) a gender or genders include each other gender;
- (b) if a word or phrase is assigned a particular meaning, other grammatical forms of that word or phrase have a corresponding meaning;
- (c) a reference to:
 - (i) a person includes a firm, an unincorporated association, an incorporated association, a corporation and a government or statutory body or authority;
 - (ii) a person includes their legal personal representatives, successors and assigns;
 - (iii) a statute, regulation, local law or any other written law, code or policy includes subsidiary legislation or an instrument made under it, and consolidations, amendments, re-enactments or replacements of any of them;
 - (iv) a right includes a benefit, remedy, discretion, authority or power;
 - (v) an obligation includes a warranty or representation, and a reference to a failure to observe or perform an obligation includes a breach of warranty or representation;
 - (vi) provisions or terms of this Agreement, or another document, agreement, understanding or arrangement, include a reference to both express and implied provisions and terms;
 - (vii) time is to local time in Perth, Western Australia;
 - (viii) \$ or dollars is a reference to the lawful currency of Australia;
 - (ix) this Agreement or any other document includes this Agreement or other document as amended or replaced and despite any change in the identity of the parties;
 - (x) writing includes any mode of representing or reproducing words in tangible and permanently visible form, and includes facsimile transmissions or other electronic mail or transmissions;
 - (xi) any thing (including any amount) is a reference to the whole or any part of it and a reference to a group of things or persons is a reference to any one or more of them;
 - (xii) a clause, paragraph, Schedule or Annexure is a reference to a clause or paragraph or Schedule or Annexure to, this Agreement;
- (d) the meaning of general words or phrases is not limited by specific examples introduced by 'including', 'for example' or similar expressions; and



Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie

- (e) a rule of construction does not apply to the disadvantage of a Party because the Party was responsible for the preparation of this Agreement or part of it.

1.3 Headings

Headings do not affect the interpretation of this Agreement.

1.4 Schedules

Each Schedule (and an Annexure or document incorporated by reference, if any) forms part of this Agreement. In the event of any conflict or inconsistency between any part of:

- (a) the terms and conditions contained in the clauses of this Agreement;
- (b) a Schedule;
- (c) an Annexure, if any; and
- (d) a document incorporated by reference, if any,

the material mentioned in any one of paragraph (a)-(d) of this subclause 1.4 has precedence over material mentioned in a subsequent paragraph, to the extent of any conflict or inconsistency.

1.5 Term

The term of this Agreement commences on the Commencement Date and continues until the Operator notifies the Shire in writing that the Haulage Campaign has been completed.

2. Road upgrades and repairs

- (a) Prior to the Haulage Campaign, the Operator must prepare and provide to the Shire an Initial Road Condition Report.
- (b) During the Term, the Shire, acting reasonably (including having regard to the Operator's obligations under this Agreement), may give a written direction to the Operator to undertake the upgrades and repairs to the Road that are specified in the direction.
- (c) For example, the Shire may give a direction under subclause (2) where it reasonably considers that, as a result of adverse weather conditions and having regard to the safety of the users of the Road, upgrades and/or repairs to the Road are appropriate.
- (d) The Operator must comply, at its own cost unless otherwise agreed with the Shire, with a written direction given under this clause, within the time specified in the direction or, if no time is specified, as soon as is reasonably practicable.
- (e) Road upgrades and repairs undertaken by the Operator under this clause must be undertaken to the Required Standards.

3. Maintenance of the Road

- (a) Throughout the Term, the Operator and its Personnel must undertake maintenance of the Road to ensure that, at all times so far as practicable, the condition of the Road meets the Required Standards.
- (b) Maintenance of the Road includes:
 - (i) Routine Maintenance such as dry grading, spot re-gravelling (or infilling) and maintenance of drainage areas;
 - (ii) Periodic Maintenance conducted at regular intervals, mainly comprising light to heavy;
 - (iii) blading both dry and wet as required in combination with any planned rehabilitation of areas that require re-gravelling to maintain surfaces;
 - (iv) any other works required to maintain the road surface, structures, signage, delineators and drainage areas; and



Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie

- (v) maintenance work that is specified in a direction given by the Shire under this clause.
- (c) The Shire may, from time to time, give the Operator a written direction to undertake the maintenance works that the Shire, acting reasonably (including having regard to the Operator's obligations under this Agreement), considers to be appropriate to ensure that the Road meets the Required Standards.
- (d) The Operator must comply, at its own cost, with a written direction given under this clause, within the time specified in the direction or, if no time is specified, as soon as is reasonably practicable.

4. Reporting

- (a) Within 3 months of the Commencement Date, and after that on a quarterly basis (or as otherwise agreed in writing by the Shire), the Operator must give the Shire a written report setting out:
 - (i) details of the maintenance undertaken by the Operator in respect of the Road under clause 3;
 - (ii) the costs incurred by the Operator in undertaking that maintenance; and
 - (iii) any other information that may be required by the Shire relating to the maintenance of the Road.

5. Shire's inspections

The Shire is to use its best endeavours to undertake an inspection of the Road with the Operator on a quarterly basis but may undertake an inspection at any time provided the inspection does not interfere with the Operator's use of the Road.

6. Failure to upgrade or maintain

If the Operator fails to comply with an upgrade, repair or maintenance obligation under this Agreement (**Required Work**):

- (a) the Shire, in addition to its other rights under this Agreement, may itself or through a contractor:
 - (i) undertake the Required Work;
 - (ii) send an invoice to the Operator for the reasonable costs of the Required Work; and
 - (iii) the Operator must pay to the Shire the cost of the Required Work within 21 days of being given the invoice under this subclause.
- (b) If the Operator does not pay an amount that it is required to pay, by the date it is required to pay it, under this Agreement, the Operator must pay, in addition to that amount, interest on that amount (calculated on a daily basis) at an annual rate equivalent to the Official Cash Rate set by the Reserve Bank of Australia plus 2%.

7. Effect of this Agreement

- (a) Subject to the Operator complying with its obligations under this Agreement, the Operator will not be required to make any capital or maintenance contributions with respect to the Road.
- (b) To the extent required, this Agreement will be taken to be an agreement under section 132(4) of the *Road Traffic (Administration) Act 2008* (WA).

8. General provisions

8.1 GST

- (c) In this clause:

Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



- (i) **GST Act** means *A New Tax System (Goods and Services Tax) Act 1999* (Cth);
 - (ii) **GST Law** means the GST Act and any associated legislation including without limitation delegated legislation; and
 - (iii) **GST, Registered, supply, tax invoice** and any other expression used that is defined in the GST Law has the same meaning as given to it in the GST Law.
- (d) Unless specifically described in this Agreement as 'GST-inclusive', any consideration to be paid or provided for a supply made under or in connection with this Agreement does not include an amount on account of GST and is 'GST-exclusive'.
- (e) Where, under the GST Law, any supply to be made by a Party (**Supplier**) to another Party (**Recipient**) under or in connection with this Agreement is subject to GST (other than a supply the consideration for which is specifically described in this Agreement as GST-inclusive), then:
- (i) the consideration payable or to be provided for that supply under this Agreement will be increased by, and the Recipient must pay to the Supplier, an amount equal to the GST calculated according to the GST Law;
 - (ii) the Recipient must pay that additional GST amount at the same time and in the same manner as the GST-exclusive consideration is paid or provided; and
 - (iii) a reference to the consideration payable for a supply includes the value of any non-monetary consideration for the supply.
- (f) If the Supplier is Registered or required to be Registered, the Supplier must provide a GST compliant tax invoice in connection with any supply made by it under this Agreement, failing which the Recipient will not be obliged to make any payment for that supply until the invoice is provided.

8.2 Discretion not fettered

- (a) Nothing in this Agreement is to fetter or is to be construed as an attempt to fetter the discretion or the functions or powers of the Shire under any Written Law.
- (b) For example, to avoid any doubt, the Shire may, at any time, exercise the powers and duties that it has in relation to road closures, including in respect of the Road.

8.3 Entire agreement - no warranty

- (a) Each Party acknowledges that it has entered into this Agreement in full reliance on its own enquiries, investigations, examinations and advice and not in reliance on or as a result of any statement, claim, representation or warranty (expressed or implied) made or given by another Party or any employee, agent or other person on behalf of another Party in respect of any matter whatsoever affecting this Agreement.
- (b) The Parties agree that this Agreement constitutes the whole and entire agreement between them and supersedes all previous negotiations and agreements written or oral.

8.4 Confidential Information

- (a) Each Party agrees that it will not disclose any Confidential Information of the Counterparty to a third party other than as permitted by clause 8.4(b).
- (b) Subject to clause 8.4(a), a Party may disclose Confidential Information of the Counterparty:
 - (i) if it has the prior written consent of the Counterparty;
 - (ii) to its Personnel for the purposes of complying with this Agreement;
 - (iii) if the Party (or its Related Bodies Corporate) is required by Law, a Government Agency or the rules of a recognised stock exchange having jurisdiction over that Party or any of its Related Bodies Corporate, to disclose such information;
 - (iv) if reasonably necessary to enforce the Counterparty's compliance with this Agreement, including in connection with a Dispute;



Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie

- (v) if necessary or commercially desirable to be disclosed, in any prospectus or information memorandum to investors or proposed or prospective investors for the issue or disposal of securities in the Party of any of its Related Bodies Corporate;
 - (vi) to an existing or bona fide proposed or prospective financier of the Party (or its Related Bodies Corporate); or
 - (vii) to a proposed transferee of any shares in the Party (or its Related Bodies Corporate).
- (c) Before making any disclosure of Confidential Information:
- (i) to a person under clauses 8.4(b)(ii), 8.4(b)(vi) and 8.4(b)(vii) the Party must:
 - (A) ensure that the person receiving the Confidential Information is aware of the Party's obligations of confidence under this Agreement;
 - (B) procure that the person receiving the Confidential Information treats the information as confidential, and only uses the information for the purpose for which it was disclosed; and
 - (ii) to a person under clause 8.4(b)(iii) the Party must give the Counterparty a reasonable opportunity to take any steps that the Counterparty considers necessary to protect the confidentiality of that information.

8.5 Notices

- (a) Any notice, direction or other communication which must or may be given in connection with this Agreement:
- (i) must be in writing in order to be valid;
 - (ii) is sufficient if executed by the Party giving the notice or on its behalf by any director, secretary, duly authorised officer or legal representative of that Party;
 - (iii) in order to be valid must be given to a Party as follows:
 - (A) delivered or sent by prepaid post to, or left at, the 'notice details' address of that Party as set out in this Agreement;
 - (B) sent to the facsimile number of that Party as set out in this Agreement;
 - (C) sent to the email address of that Party; or
 - (D) delivered or sent to another address or facsimile number as is notified in writing by that Party to the other Parties from time to time; and
 - (iv) if given in accordance with subclause (a)(iii), will be deemed to take effect:
 - (A) in the case of prepaid post, on the second Business Day after the date of posting;
 - (B) in the case by email, on receipt of return email from the recipient acknowledging receipt of the email;
 - (C) in the case of facsimile, on receipt of a transmission report from the sending machine confirming successful transmission; and
 - (D) in the case of delivery by hand, on delivery.
- (b) The Parties' notice details as at the Commencement Date are as follows:
- | | | |
|-------------------------|----------|--|
| To the Operator: | Address: | Lithco No. 2 Pty Ltd
C/- Land Access Team
Locked Bag 13, Osborne Park DC, WA, 6916 |
| | Fax: | (08) 9329 3601 |
| | Email: | land.access@mrl.com.au |
| | | |
| To the Shire: | Address: | Shire of Coolgardie
138, Kambalda, Western Australia |

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Email: ceo@coolgardie.wa.gov.au

8.6 Dispute Resolution

- (a) Subject to clause 8.6(f) a Party must not commence any court proceedings relating to a dispute arising out of or in connection with this Agreement (**Dispute**) unless it has complied with the provisions of this clause 8.6.
- (b) A Party claiming a Dispute has arisen must give the Counterparty a notice setting out the details of the Dispute, its costs and losses arising and relief sought (**Dispute Notice**).
- (c) During the 30 days after a Dispute Notice (or longer period if the Parties agree in writing), each Party must use its reasonable efforts to resolve the Dispute by negotiating with the Counterparty in good faith. Each Party must involve a senior employee, officer or director who has authority to resolve the Dispute in such negotiations.
- (d) Any information or documents disclosed by a Party under this clause 8.6:
 - (i) must be kept confidential in accordance with clause 8.4; and
 - (ii) may only be used to attempt to resolve the Dispute.
- (e) Each Party to a Dispute must pay its own costs in complying with this clause 8.6.
- (f) Notwithstanding any other provision of this Agreement, either Party may commence court proceedings in relation to a Dispute or in relation to any actual, potential, threatened or likely breach of this Agreement by the Counterparty at any time where it seeks urgent interlocutory, injunctive or declaratory relief.

8.7 Force Majeure

- (a) Should a Party be delayed in the performance of this Agreement by an event which that Party concerned considers is a Force Majeure occurrence, then the Party delayed must:
 - (i) give written notice to the other Party immediately giving the full particulars of the event and why it is considered a Force Majeure occurrence; and
 - (ii) use its best efforts to remedy the situation.
- (b) On giving a notification under subclause (a), the performance or compliance by a Party of or with any of the responsibilities or obligations under this Agreement affected by the Force Majeure occurrence are to be suspended. The suspension is to continue as long as the performance or compliance with that responsibility or obligation under this Agreement is so prevented or hindered. During the suspension, the Parties must consult with each other without delay as to the measures to be taken regarding the continuation of the Haulage Campaign and the implementation of this Agreement. The Parties must agree on a solution equitable to all Parties.
- (c) On cessation of any Force Majeure occurrence, the Parties must take all reasonable measures necessary to minimise the effects of the delay.
- (d) Without limiting the requirements under subclause (b), should the Force Majeure continue for more than 90 consecutive days either Party may terminate this Agreement with immediate effect by giving the other Party written notice of termination.
- (e) A Party is not liable for any delay or failure of performance of the terms and conditions of this Agreement to the extent such delay or failure is attributable to events of Force Majeure which has been notified in accordance with this clause.
- (f) Force Majeure may not be invoked by a Party if, and to the extent that, any prior default under this Agreement of the Party concerned caused or contributed to the prevention or impediment of the due performance of the obligations under this Agreement.

Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



8.8 Severability

In the event of part of this Agreement being or becoming void or unenforceable then that part is to be severed from this Agreement with the intention that the balance of this Agreement is to remain in full force and effect, unaffected by the severance.

8.9 Termination

- (a) If a Party breaches or repudiates this Agreement, nothing in this Agreement prejudices the right of the other Party to recover damages or exercise any other right, whether under this Agreement or otherwise.
- (b) If:
 - (i) the Operator fails to observe or perform any term or condition of this Agreement to be observed or performed by the Operator; and
 - (ii) that failure continues for a period of 14 days (or such other period as having regard to the circumstances as the Shire may reasonably allow) after service on the Operator of written notice requiring it to observe or perform the relevant term or condition,the Shire may, by notice in writing to the Operator, immediately terminate this Agreement, but without releasing the Operator from liability for any previous breach or failure to observe or perform any term or condition of this Agreement.
- (c) The termination of this Agreement does not affect:
 - (i) a right of a Party accrued before the termination date; or
 - (ii) a right or obligation of a Party under this Agreement that, expressly or by implication from its nature, is intended to continue after the date of termination.

8.10 Assignment

- (a) A Party may transfer, assign or otherwise deal with any of its rights or obligations under this Agreement (**Assigning Party**), to a third party (**Assignee**) provided that the Assignee has executed a deed of assignment and assumption pursuant to which it acknowledges the rights of the Counterparty (**Continuing Party**) under this Agreement and agrees to be bound by all of the Assigning Party's obligations under this Agreement as if it were named as the Assigning Party to the extent of the interest so assigned or otherwise dealt with;
- (b) On the effective date of a deed of assignment and assumption referred to in clause 8.10(a) (**Release Date**), the Assigning Party will be released from all Claims and Liabilities arising under or in connection with this Agreement (to the extent of the interest so assigned or otherwise dealt with) which accrue in respect of the period commencing on and from the Release Date.
- (c) The Assigning Party will not be released from, and will remain liable for, for any Claims and Liabilities which arise under or in connection with this Agreement that relate to the period up to (but excluding) the Release Date and the interest so assigned or otherwise dealt with, notwithstanding whether such Claims and Liabilities materialise on or after the Release Date.
- (d) Nothing in this clause 8.10 will be taken to prohibit the granting by a Party of any Encumbrance in respect of its interest under this Agreement in favour of that Party's lenders, financiers or other credit providers (or agent or trustee for those lenders, financiers or other credit providers) provided the holder of such Encumbrance executes a deed in favour of the Counterparty acknowledging the rights of such Party under this Agreement.

8.11 Modification and waiver

- (a) This Deed may not be modified, amended or varied except by a document in writing signed by or on behalf of each of the Parties.

Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



- (b) Any modification to a term or condition of this Agreement, or waiver or relinquishment of the performance of any term or condition of this Agreement, will be effective only if made in writing and executed by or on behalf of the Party granting the waiver.
- (c) A waiver of any one breach of any term or condition of this Agreement is not to operate as a waiver of any other breach of the same or other term or condition of this Agreement.

8.12 Laws of Western Australia apply

This Deed is to be construed and interpreted in accordance with the laws of the State of Western Australia and the Parties agree to submit to the jurisdiction of the courts of that State and of courts competent to hear appeals from them.

8.13 Legal costs

- (a) The Operator must pay, to a maximum of \$10,000 the Shire's costs and expenses (including legal costs) of and incidental to the preparation, negotiations, completion and signing of this Agreement.
- (b) The Operator must pay all stamp duty payable with respect to this Agreement and all copies of it.

8.14 Counterparts

This Agreement may be executed in counterparts, meaning that execution will be complete when each Party holds a copy of this Agreement signed by the other Party, even though the signatures of both Parties do not appear on the same copy.

8.15 Variation

This Agreement may only be varied by an instrument in writing signed by each Party.

Signing Page

EXECUTED as an AGREEMENT

Road Use Agreement – Lithco No. 2 Pty Ltd and Shire of Coolgardie



EXECUTED by **Lithco No. 2 Pty Ltd (ACN 612 726 922)** in accordance with section 126 of the *Corporations Act 2001* (Cth) by its duly authorised representative:

Signature of Authorised Representative

Witness Signature

Name

Witness Name

Position

Witness Position

Date: / /

EXECUTED by **Shire of Coolgardie (ABN 89 883 388 617)** on behalf of the Shire of Coolgardie in the presence of:

Signature of witness

Signature Chief Executive Officer

Name of witness

Address of witness

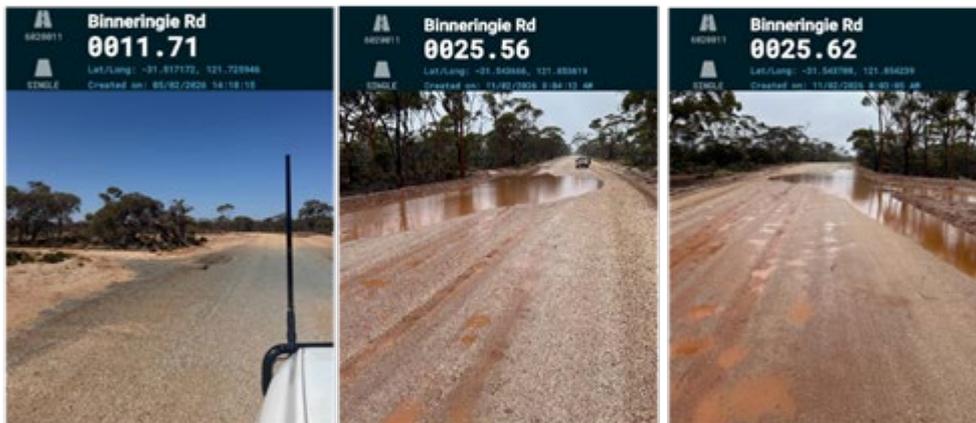


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Schedule 1 – Road Condition & Defects



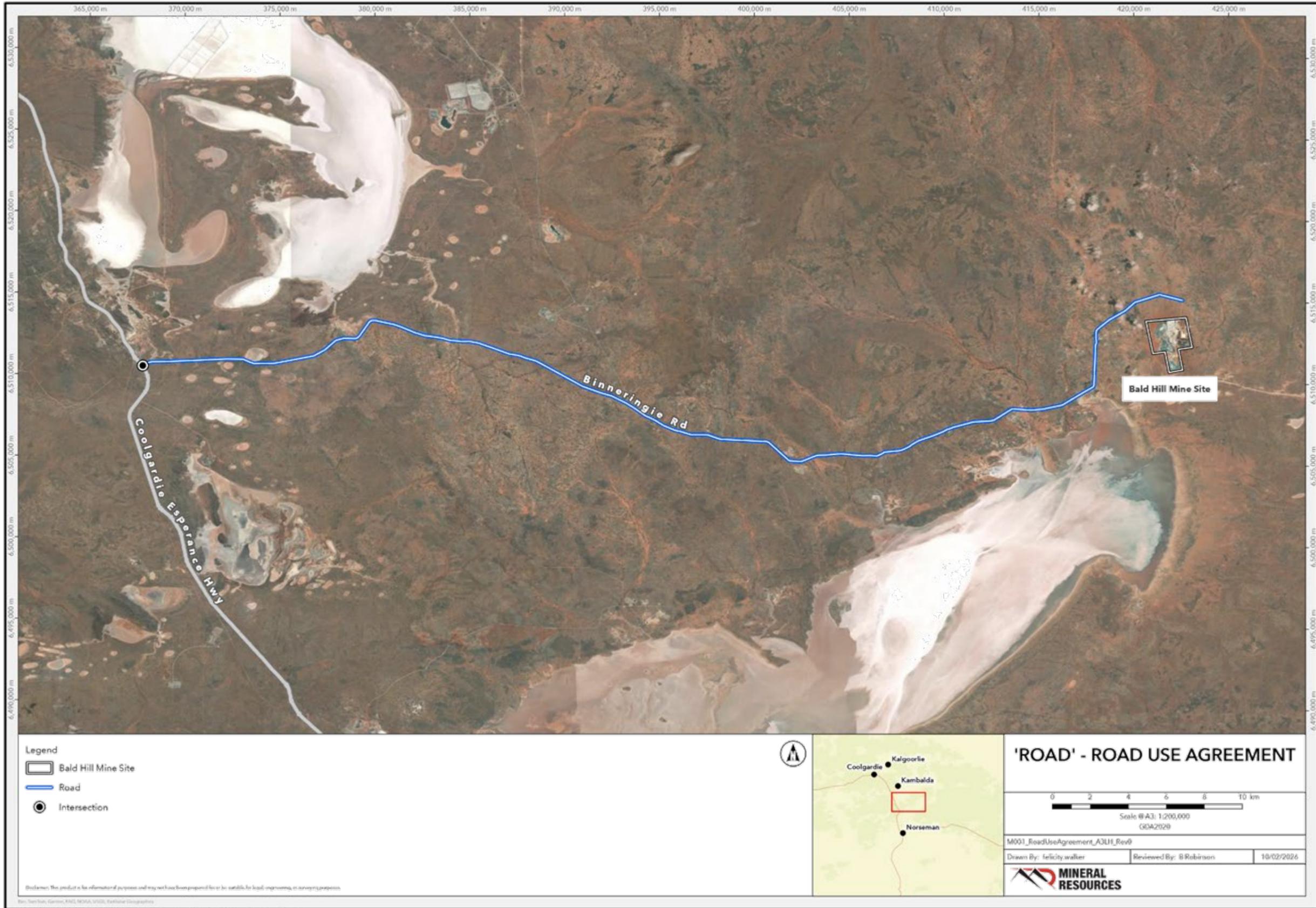
Scour, Rutting and Drainage Clearance



Edge Breakage & Ponding



Ponding & Drainage Work



Path: U:\GIS\Projects\UT_BalHill\LA\BalHill_LandAccessAgmts_2024\BalHill_LandAccessAgmts_2024.aprx

11.2.4 LIST OF PAYMENTS - DECEMBER 2025

Location: Nil
Applicant: Nil
Disclosure of Interest: Nil
Date: 12 February 2026
Author: Raj Subbiah, Finance Manager

SUMMARY

For Council to receive the list of accounts for December 2025.

BACKGROUND

The Local Government (Financial Management) Regulations 1996, Regulation 13(3)(b) requires that Council receive a list of accounts paid in the month, and that this be recorded in the minutes. Council has delegated to the Chief Executive Officer that authority to make these payments from Municipal and Trust Funds.

COMMENT

Presented in this item is a table of accounts (invoices) and includes that cheque (or EFT) identifier for the transaction, the entity, date, and amount paid, description of the goods, service, or other that relates to the payment. Extra details of invoices relating to payments are included for the information of Councillors.

The schedule of payment made under delegated authority as summarised below and recommended to be received by Council, has been checked and is supported by vouchers and invoices which have been duly certified as to the receipt of goods and provision of services, and verification of prices and costings.

Significant Payments for the month of December 2025 are: -

1. Sirrom Village Services – Catering Management of Bluebush Village \$503,325.67
2. Water Corporation – Water Usage Various Locations \$143,841.00
3. Department of Fire & Emergency Services – 2nd Qtr Contribution for Emergency Services Levy \$113,618.40

CONSULTATION

Nil

STATUTORY ENVIRONMENT

Local Government (Financial Management) Regulations 1996, Regulation 13 – Lists of Accounts

POLICY IMPLICATIONS

CS-PROCUREMENTS POLICY. Policy CS-11 sets the guidelines with regards to the purchase of goods or services provided.

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

Maintain integrated strategic and operational plans

High quality corporate governance, accountability and compliance

ATTACHMENTS**1. List of Payments - December 2025****VOTING REQUIREMENT**

Simple majority

OFFICER RECOMMENDATION

That Council:

1. Receive listing (attached) of accounts paid during the month of December 2025 by the Chief Executive Officer under delegated authority of Council.
 - a. Municipal accounts totalling \$1,733,765.59 on municipal vouchers EFT29910 – EFT30061 and Direct Debits
 - b. Credit Card totalling \$9,285.69
 - c. Fuel Card payments totalling \$14,229.92
 - d. BBV fuel payments totalling \$30,266.86
 - e. Woolworths Card Payment Total \$2,852.31

COUNCIL RESOLUTION #21/2026

Moved: Cr Daphne Simmons

Seconded: Cr Tammee Keast

That Council:

1. Receive listing (attached) of accounts paid during the month of December 2025 by the Chief Executive Officer under delegated authority of Council.
 - a. Municipal accounts totalling \$1,733,765.59 on municipal vouchers EFT29910 – EFT30061 and Direct Debits
 - b. Credit Card totalling \$9,285.69
 - c. Fuel Card payments totalling \$14,229.92
 - d. BBV fuel payments totalling \$30,266.86
 - e. Woolworths Card Payment Total \$2,852.31

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025
EFT's

EFT	Date	Name	Description	Amount
EFT29910	02/12/2025	Kmart Australia	Mugs For Coolgardie Recreation Centre	\$ 46.50
EFT29911	05/12/2025	Adroit Mining Services	Repairs To Kambalda Rec Centre Stage Flooring and Bluebush Village Kitchen	\$ 49,074.50
EFT29912	05/12/2025	Aerodrome Management	Kambalda Airport - Periodic Compliance November 2025	\$ 4,923.71
EFT29913	05/12/2025	Ast Transport	Wet Hire Of Truck And Side Tipper November 2025	\$ 3,168.00
EFT29914	05/12/2025	Ampol	Diesel For Soc Fleet November 2025	\$ 8,617.64
EFT29915	05/12/2025	All Services Pty Ltd	Temporary Fencing Hire - Lady Loch Road 08.11 - 16.12.2025	\$ 805.18
EFT29916	05/12/2025	Aust-Weigh Pty Ltd	Coolgardie Waste Facility Annual Weighbridge Calibration Nov 2025	\$ 6,996.00
EFT29917	05/12/2025	Australian Transit Group	Krc To Crc 19Th Nov Travel For Seniors Christmas Lunch	\$ 990.00
EFT29918	05/12/2025	Bidfood Kalgoorlie	Seniors Christmas Catering Nov 2025	\$ 235.61
EFT29919	05/12/2025	Blackwoods	Parts For P357 Skid Steer	\$ 91.69
EFT29920	05/12/2025	Bp Australia Limited	Diesel For Soc Fleet November 2025	\$ 5,612.28
EFT29921	05/12/2025	Brenda Lee-Ann Cleeland	Refund Of Excess Rates	\$ 495.00
EFT29922	05/12/2025	Bright Promoton Products	100 Sunscreen With Carabiner	\$ 550.00
EFT29923	05/12/2025	Bunnings	Blind For Dundas Court	\$ 828.47
EFT29924	05/12/2025	Clever Patch	Coolgardie Rec Centre Activites November 2025	\$ 436.54
EFT29925	05/12/2025	Container Refrigeration	Refrigeration Container Hire November 2025	\$ 3,613.50
EFT29926	05/12/2025	Data Divas	Bluebush Village Website Url Renewal And Hosting For November 2025	\$ 330.00
EFT29927	05/12/2025	Department Of Fire & Emergency Services	2nd Qtr Contribution - Emergency Services Levy (2 Invoices)	\$ 113,618.40
EFT29928	05/12/2025	Eagle Petroleum	Fuel, Oil and Lube for Various Soc Facilities November 2025 (8 Invoices)	\$ 49,966.50
EFT29929	05/12/2025	Emjor Services	Backflow Testing, Vibe Fuel Station (Pump Station)	\$ 165.00
EFT29930	05/12/2025	Ess Kambalda Village	Meals On Wheels - Estimated October 2025	\$ 5,835.28
EFT29931	05/12/2025	Eurofins Arl Pty Ltd	Coolgardie Wastewater Treatment Plant Monthly Wastewater Analysis November	\$ 207.90
EFT29932	05/12/2025	Felton International Group	Kambalda Airport - Terminal Outdoor Passenger Seating	\$ 17,490.44
EFT29933	05/12/2025	Fiesta Canvas	Replacemnt Of Shade Sails To Coolgardie Pool Main Grass Area	\$ 4,455.00
EFT29934	05/12/2025	Geoffrey Harcombe	Environmental Health And Consultancy Services For November 2025	\$ 6,815.71
EFT29935	05/12/2025	Goldfields Engraving	Gold Plaque Engraving - November 2025	\$ 33.00
EFT29936	05/12/2025	Goldfields Locksmiths	Salto Red Key Fobs Kambalda Gym	\$ 997.32
EFT29937	05/12/2025	Goldfields Pest Control	Treatment For The Control Of Bee'S In Coolgardie	\$ 660.00
EFT29938	05/12/2025	Goldfields Printing Co	Envelopes And Receipt Books With Shire Logo	\$ 1,655.08
EFT29939	05/12/2025	Goldfields Records Storage	Storage Of Archive Boxes For Shire Of Coolgardie October 2025	\$ 205.73
EFT29940	05/12/2025	Goldfields Truck Power	Replace Seized Compressor Mitsy Fuse	\$ 3,226.58
EFT29941	05/12/2025	Goodnews Newsagency	Newspaper For Kambalda Administration Building October 2025	\$ 230.60
EFT29942	05/12/2025	Gregory John Bowden	Rates Refund For Assessment A1208	\$ 1,000.00
EFT29943	05/12/2025	He Construction Service	Emergency Works Reporting - Activation Report for The Department Of Fire And	\$ 18,480.00
EFT29944	05/12/2025	Iga Coolgardie	Office and Kitchen Supplies October 2025	\$ 210.10
EFT29945	05/12/2025	Ingenua Pty Ltd	Engineering Support November 2025	\$ 15,691.54
EFT29946	05/12/2025	Ingot Hotel	Accommodation - Operations Coordinator (Attend Aerodrome Reporting Officer	\$ 800.00
EFT29947	05/12/2025	Integrated Ict	Backup / Dr Services For November 2025 (7 Invoices)	\$ 48,137.88
EFT29948	05/12/2025	Jason Troy Axcell	Refund Of Excess Rates	\$ 1,486.12
EFT29949	05/12/2025	Jll Pty Ltd	Wardens Court - Lease Monthly Outgoings December 2025	\$ 2,484.54
EFT29950	05/12/2025	Jobfit Health Group	Pre-Employment Medical And Drug Screen Admin Officer	\$ 854.70
EFT29951	05/12/2025	Jointly Planning	Town Planning And Strategic Projects 27Th Oct - 7Th Nov 2025	\$ 3,696.00
EFT29952	05/12/2025	KBCCI	Membership November 2025 -October 2025	\$ 418.00
EFT29953	05/12/2025	Kalgoorlie Boulder Visitors Centre	Golden Quest Discovery Trail Books For Coolgardie Visitor Centre	\$ 144.00
EFT29954	05/12/2025	Kb Security Pty Ltd	Replace Battery Back Up In Security Systems At Coolgardie Facilities	\$ 775.50
EFT29955	05/12/2025	Kennards Hire Pty Ltd	Portaloo Hire And Services 21St October 2025 - 04Th November 2025	\$ 246.40
EFT29956	05/12/2025	Kmart Australia	Prizes For Pingo - December 2025	\$ 870.75
EFT29957	05/12/2025	Kristy Marshall	Provisions for Training Course November 2025	\$ 246.62
EFT29958	05/12/2025	Landgate	Interim Valuation	\$ 25.85
EFT29959	05/12/2025	Leeson Electrical	Bluebush Village - Combi Oven Repairs	\$ 354.75
EFT29960	05/12/2025	Mcleods Lawyers	Legal Advice November 2025	\$ 191.40
EFT29961	05/12/2025	Mitre 10 Kalgoorlie	Supplies For Retic Repairs To Various Parks	\$ 985.00
EFT29962	05/12/2025	Napa Kalgoorlie	Parts For P338 Ford Escape and P377 Generator	\$ 1,171.07
EFT29963	05/12/2025	New Harmony	Service Provision Under Rft 03/2023 - Local Government Services	\$ 1,155.00
EFT29964	05/12/2025	Nov Australia Pty Ltd	Annual Hire Of Genset For Coolgardie Waste Facility October 2025	\$ 1,050.50
EFT29965	05/12/2025	Omnicom Media Group	Advertising - Truck Stop Resurfacing Works (Kalgoorlie Miner 29/10/2025)	\$ 2,536.25
EFT29966	05/12/2025	Plumbing Gas And Electrical	Repairs and Maintenance on Various Soc Facilities November 2025 (7 Invoices)	\$ 57,750.22
EFT29967	05/12/2025	Precise Projects	Coolgardie Waste Facility Gate Repairs	\$ 600.00
EFT29968	05/12/2025	Print Finishing Line	4 Books Of Minutes To Be Bound	\$ 968.00
EFT29969	05/12/2025	Pryce Mining Services	Genset Hire - Bluebush Village -November 2025	\$ 12,183.60
EFT29970	05/12/2025	Public Transport Authority	Transwa Ticket Sales October 2025	\$ 153.62
EFT29971	05/12/2025	Red Dirt Rubber	P382 Two Replacement Tyres	\$ 9,438.00
EFT29972	05/12/2025	Red Dot	Storage Bins And Containers	\$ 113.86
EFT29973	05/12/2025	Reppo	Oils and lubricants	\$ 265.20

Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025
EFT's

EFT	Date	Name	Description	Amount
EFT29974	05/12/2025	Satellite Television And Radio Australia	Upgrade Transmitter / Output Card For Toorak Hill Coolgardie	\$ 22,768.68
EFT29975	05/12/2025	Shire Of Coolgardie	Transwa Ticket Sale Commission October 2025 - Korf	\$ 37.38
EFT29976	05/12/2025	Sirrom Village Services	Seniors Christmas Party and Council Training Catering	\$ 4,066.85
EFT29977	05/12/2025	Snap Kalgoorlie	Ranger and Firearm Notices	\$ 3,476.22
EFT29978	05/12/2025	Supagas Pty Limited	Nickeltown Flourerders - Gas Bottle October 2025	\$ 5.23
EFT29979	05/12/2025	Synergy	Electricity - Various Soc Facilities September - November 2025	\$ 16,862.22
EFT29980	05/12/2025	Taps Industries Pty Ltd	Pipe Leak Repairs (Aquatic Facilities and Skate Park)	\$ 1,129.21
EFT29981	05/12/2025	Team Global Express	Parcel Transportation November 2025	\$ 115.15
EFT29982	05/12/2025	Telstra Limited	Telephone, Mobile and Data Expenses to 12 November 2025	\$ 5,326.27
EFT29983	05/12/2025	Terry Haulage Pty Ltd	Transportation - Hino 700 Series Prime Mover To Wa Hineworkshop In Perth	\$ 3,960.00
EFT29984	05/12/2025	Toolshed Smoke & Grill	Catering For July Council Meetings	\$ 550.00
EFT29985	05/12/2025	Tyrepower Kalgoorlie	Soc On Road Vehicle Tyre Servicing - November 2025	\$ 2,103.20
EFT29986	05/12/2025	Uniqco International Pty Ltd	Adhoc Contract Management Support - November 2025	\$ 16,115.00
EFT29987	05/12/2025	Unreal Plates	Stock For Resale - Number Plates	\$ 399.00
EFT29988	05/12/2025	Uon Pty Ltd	Kambalda Waste Facility - Generator Hire November 2025	\$ 4,726.51
EFT29989	05/12/2025	Vision Intelligence Pty Ltd	Kambalda Airport - Hire Solar Cctv Camera 26 Oct - 20 Dec 2025	\$ 1,848.00
EFT29990	05/12/2025	Visit Brands Pty Ltd	Stock For Resale - Coolgardie Visitor Centre	\$ 872.74
EFT29991	05/12/2025	WALGA	Understanding Local Government/Conflicts Of Interest/Meeting Procedures	\$ 5,500.00
EFT29992	05/12/2025	Westrac Pty Ltd	P345 / P277 Parts and Filters	\$ 517.90
EFT29993	05/12/2025	Winc Australia Pty Ltd	Stationary Order	\$ 88.11
EFT29994	16/12/2025	Anthony Raymond George	Councillor Payment, Quarter 2 Fy 25/26	\$ 7,802.00
EFT29995	16/12/2025	Corey James Matthews	Councillor Payment, Quarter 2 Fy 25/26	\$ 5,302.75
EFT29996	16/12/2025	Daphne Mae Simmons	Councillor Payment, Quarter 2 Fy 25/26	\$ 5,302.75
EFT29997	16/12/2025	Julie-Ann Williams	Councillor Payment, Quarter 2 Fy 25/26	\$ 5,302.75
EFT29998	16/12/2025	Paul Wilcox	Councillor Payment, Quarter 2 Fy 25/26	\$ 17,728.20
EFT29999	16/12/2025	Tammee Louise Keast	Councillor Payment, Quarter 2 Fy 25/26	\$ 5,302.75
EFT30000	16/12/2025	Tracey Rathbone	Councillor Payment, Quarter 2 Fy 25/26	\$ 5,302.75
EFT30001	18/12/2025	3E Advantage Pty Ltd	Printer Services For The Shire Of Coolgardie November 2025	\$ 3,691.73
EFT30002	18/12/2025	Anthony Raymond George Ball	Milage Claim Councillor	\$ 264.00
EFT30003	18/12/2025	Australia Post	Australia Post For November 2025	\$ 330.69
EFT30004	18/12/2025	Australian Audit Pty Ltd	Auditor Service 2025 - Rft 01/2025 - Disposal Of Bluebush Village	\$ 1,149.50
EFT30005	18/12/2025	Ava Horan	Reimbursement Claim For Royal Life Saving 07/11/2025 - 11/11/2025	\$ 145.95
EFT30006	18/12/2025	Blackwoods	Light Vehicle Parts and Consumables	\$ 216.48
EFT30007	18/12/2025	Bunnings	Coolgardie Pound Facilities - Lights and Maintenance Supplies	\$ 709.55
EFT30008	18/12/2025	Casair Pty Ltd	Repayment (Casair Liability) As Per Council Resolution Dec 2025 (1 Invoice)	\$ 22,000.00
EFT30009	18/12/2025	Catherine Brooking	Hot Weather Supplys To Sell At Pool	\$ 693.59
EFT30010	18/12/2025	Catherine Mcinerney	Refund Of Councillor Nomination Fee 2025	\$ 100.00
EFT30011	18/12/2025	Central Regional Tafe	Dog And Cat Management And Control.	\$ 410.22
EFT30012	18/12/2025	Cleanaway Pty Ltd	Refuse Collection Services (Residential Wheelie Bin Services) - Nov 2025 (5	\$ 25,847.56
EFT30013	18/12/2025	Environex International	Calcium Hypochlorite 10Kg Tubs	\$ 3,814.28
EFT30014	18/12/2025	Ess Kambalda Village	Meals On Wheels - Estimated For November 2025	\$ 4,514.40
EFT30015	18/12/2025	Eurofins Afl Pty Ltd	Eurofins Water Analysis For Emryor Septic Waste.	\$ 563.20
EFT30016	18/12/2025	Gibson Soak Water Co	Supply And Delivery Spring Water - Kambalda Administration Nov 2025	\$ 54.00
EFT30017	18/12/2025	Goldfields Linemarking	Kambalda Airport - Repaint Of Runway Markings	\$ 19,680.73
EFT30018	18/12/2025	Goldfields Locksmiths	Lock Box For Keys	\$ 179.10
EFT30019	18/12/2025	Herseys Safety Pty Ltd	Consumables for Plant Repairs H1403	\$ 511.85
EFT30020	18/12/2025	Industrial Automation	Subscription - Coolgardie Recycled Water Remote-Control System Dec 2025	\$ 3,676.20
EFT30021	18/12/2025	Ingenua Pty Ltd	Design And Engineering For Linemarking Of Coolgardie Truck Stop	\$ 4,823.72
EFT30022	18/12/2025	Janine Riddle	Rates Refund For Assessment A3601 112 Sylvester Street Coolgardie	\$ 974.04
EFT30023	18/12/2025	Jobfit Health Group	Pre-Employment Medical And Drug Screen For Plant Operator	\$ 569.80
EFT30024	18/12/2025	Jointly Planning And Mapping	10 - 29 November Planning Matters	\$ 3,828.00
EFT30025	18/12/2025	Kambalda Volunteer Fire Brigade	Letter Drop Donation For Australia Day 2026 Flyers	\$ 200.00
EFT30026	18/12/2025	Kleenheat Gas Pty Ltd	Coolgardie Community Recreation Facility - Gas Supply	\$ 387.20
EFT30027	18/12/2025	Kmart Australia	Seniors Christmas Lunch Hamper November 2025	\$ 246.50
EFT30028	18/12/2025	Mister Signs	Front Entry Coolpool Sign	\$ 470.80
EFT30029	18/12/2025	Modularis Pty Ltd	11 Goodenia Court - Practical Completion And Variation (1 Invoice)	\$ 79,662.00
EFT30030	18/12/2025	Napa Kalgoorlie	Oils and lubricants	\$ 123.35
EFT30031	18/12/2025	Nov Australia Pty Ltd	Coolgardie Waste Facility Genset Hire November 2025	\$ 11,017.50
EFT30032	18/12/2025	On Hold On Line	After Hours Christmas Closure Script Phone Recording 2025	\$ 220.00
EFT30033	18/12/2025	Paul John Simmonds	Rates Refund For Assessment A17020 Lot P16/02836 Prospecting Lease	\$ 457.47
EFT30034	18/12/2025	Plumbing Gas And Electrical	Repairs and Maintenance - Various Soc Facilities Nov 2025 (7 Invoices)	\$ 20,023.88
EFT30035	18/12/2025	Rachael Lindsay	Rates Refund For Assessment A3183-55 Shaw Street Coolgardie	\$ 700.00
EFT30036	18/12/2025	Repo	Petrol Intake Cleaner.	\$ 61.60
EFT30037	18/12/2025	Signs Plus	Bulk Name Badge Order For Councillors And Front Counter Staff	\$ 178.00
EFT30038	18/12/2025	Sirrom Village Services	Management Of Bluebush Village - November 2025 (1 Invoice)	\$ 499,258.82
EFT30039	18/12/2025	Snap Kalgoorlie	Dog Act Infringement Books	\$ 695.24

Shire of Coolgardie
 Payments by Delegated Authority
 01 December to 31 December 2025
 EFT's

EFT	Date	Name	Description	Amount
EFT30040	18/12/2025	Supages Pty Limited	Bulk Gas Kambalda Recreational Centre	\$ 3,740.97
EFT30041	18/12/2025	Sykes Transport	Sheraton Pumps 19 Whyalla Street to Kambalda Aquatic Facilities	\$ 283.95
EFT30042	18/12/2025	Synergy	Grouped Electricity Charges to 11 November 2025 (2 Invoices)	\$ 21,017.98
EFT30043	18/12/2025	Taps Industries Pty Ltd	Repairs and Maintenance on Various Soc Facilities November 2025	\$ 12,394.06
EFT30044	18/12/2025	Team Global Express	Freight Charges November 2025	\$ 446.08
EFT30045	18/12/2025	Telstra Limited	Telephone, Mobile and Data Expenses to 04 December 2025	\$ 6,044.26
EFT30046	18/12/2025	Toolshed Smoke & Grill	Catering For Four (4) Nov 2025 Meetings	\$ 905.00
EFT30047	18/12/2025	The Way Studios	Music And Pa Hire - Seniors Christmas	\$ 1,800.00
EFT30048	18/12/2025	Tomas Pernam Denton	Refund Of Cat Trap Hire	\$ 115.00
EFT30049	18/12/2025	Tracey Rathbone	Mileage Claim 13Th - 14Th Nov 2025	\$ 519.20
EFT30050	18/12/2025	Tyrepower Kalgoorlie	P394 Tyres On Road Vehicle	\$ 714.00
EFT30051	18/12/2025	Uniqoo International Pty Ltd	Coolgardie Waste Facility Class II Trenches Tender Preparation	\$ 2,255.00
EFT30052	18/12/2025	Uon Pty Ltd	Kambalda Waste Facility - Generator Hire July 2025	\$ 3,891.83
EFT30053	18/12/2025	Vanessa Australia	Stock For Resale Coolgardie Visitor Centre	\$ 1,614.17
EFT30054	18/12/2025	Versatile Plant Contracting	Storm Damage Emergency Work - Coolgardie North Rd/ Victoria Rocks Rd	\$ 17,256.25
EFT30055	18/12/2025	Wa Rangers Association	Ranger Patches For Uniforms	\$ 159.70
EFT30056	18/12/2025	Water Corporation	Usage / Service Fees - Various Soc Facilities Oct - Dec 2025 (5 Invoices)	\$ 143,841.30
EFT30057	18/12/2025	Western Airport Services	Kambalda Airport - Baggage Handling Fee - Nov 2025 (1 Invoice)	\$ 39,600.00
EFT30058	18/12/2025	Westrac Pty Ltd	P345 - 6750 Hr Service - Cat Loader	\$ 1,855.96
EFT30059	18/12/2025	Winc Australia Pty Ltd	Stationary Order	\$ 1,226.51
EFT30060	18/12/2025	Woodlands Distributors	Dog Waste Bags For Dog Park	\$ 386.32
EFT30061	18/12/2025	Woolworths Ltd	Gift Cards For Outgoing Councillors	\$ 2,852.31
				\$ 1,594,744.05

Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025
Direct Deposits

Chq/EFT	Date	Name	Description	Amount
DD10198.1	19/12/2025	Jll Pty Ltd	Monthly Outgoing 01/12/2025 -31/12/2025	\$ 2,484.54
DD10240.1	09/12/2025	Fleetcare	Payroll Deductions/Contributions	\$ 811.31
DD10243.1	09/12/2025	Australian Taxation Office	Payg For Period 26.11.2025 - 09.12.2025 #280	\$ 41,687.00
DD10243.2	09/12/2025	Beam Clearing House	Superannuation For Payrun #280 Ppe 09.12.2025	\$ 21,637.06
DD10245.1	23/12/2025	Fleetcare	Payroll Deductions/Contributions	\$ 811.31
DD10248.1	23/12/2025	Australian Taxation Office	Payg For Period 10.12.25-23.12.25 #281	\$ 48,977.00
DD10248.2	23/12/2025	Beam Clearing House	Superannuation For Period 10.12.25-23.12.25 #281	\$ 22,613.32
				\$ 139,021.54

Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025
Credit Cards

Date	Description	Value	Card
17-Dec-25	Asa Appliance Service Agents - Recreational Microwave Repairs	\$ 129.00	2875
27-Nov-25	Bws - Beverages For Staff Christmas Party	\$ 608.20	2859
28-Nov-25	Virgin Australia - Flights Kalgoorlie To Perth Return For Executive Manager Community Development And Regulatory Services 04	\$ 402.87	2859
28-Nov-25	Zoom Communication - Zoom Workplace Pro Annual	\$ 243.05	2859
2-Dec-25	Tenderlink - Advertising For Two Tenders	\$ 541.20	2859
2-Dec-25	Square Service - Monthly Subscription	\$ 109.00	2859
8-Dec-25	Virgin Flights Kalgoorlie To Perth Return For Ceo 19/02/2026-09/02/2026	\$ 402.87	2859
9-Dec-25	Woolworths Service Award For Aquatic Technical Officer	\$ 257.95	2859
11-Dec-25	Starlink - Coolgardie Depot Wifi Monthly Charge	\$ 99.00	2859
11-Dec-25	Starlink - Kambalda Airport Wifi Monthly Charge	\$ 139.00	2859
11-Dec-25	Starlink - Coolgardie Tip Wifi Monthly Charge	\$ 99.00	2859
11-Dec-25	Starlink - Kambalda Tip Wifi Monthly Charge	\$ 99.00	2859
11-Dec-25	Starlink - Coolgardie Tv Antenna Wifi Monthly Charge	\$ 139.00	2859
15-Dec-25	Virgin Flights Kalgoorlie To Perth Return For Executive Manager Community Development And Regulatory Services 09/01/2026	\$ 402.87	2859
15-Dec-25	Virgin Flights Kalgoorlie To Perth Return For Executive Manager Community Development And Regulatory Services 09/12/2025	\$ 393.76	2859
16-Dec-25	Facebook Related Expense	\$ 3.00	2859
18-Dec-25	Facebook Related Expense	\$ 3.03	2859
19-Dec-25	Facebook Related Expense	\$ 3.04	2859
20-Dec-25	Facebook Related Expense	\$ 3.04	2859
19-Dec-25	Virgin Flights Kalgoorlie To Perth Plant Operator Collect Hino Truck 22/12/2025	\$ 378.10	2859
28-Nov-25	Virgin - Flight Kalgoorlie To Perth For Team Leader Ranger 09/12/2025	\$ 196.88	2147
28-Nov-25	Virgin - Flight Perth To Kalgoorlie For Team Leader Ranger 15/12/2025	\$ 196.88	2147
1-Dec-25	Virgin - Flight Kalgoorlie To Perth For Exec Manager Community Development & Regulatory Services 11/12/2025	\$ 393.76	2147
4-Dec-25	Virgin - Flight Kalgoorlie To Perth For Team Leader Ranger 23/12/2025	\$ 201.43	2147
4-Dec-25	Virgin - Flight Perth To Kalgoorlie For Team Leader Ranger 09/02/2026	\$ 201.44	2147
4-Dec-25	Virgin - Flight Kalgoorlie To Perth For Aquatic Technical Officer 12/12/2025	\$ 201.43	2147
4-Dec-25	Virgin - Flight Perth To Kalgoorlie For Aquatic Technical Officer 05/01/2026	\$ 201.44	2147
4-Dec-25	Virgin - Flights Perth To Kalgoorlie Return For Pool Operator 12/12/2025-05/01/2026	\$ 506.11	2147
4-Dec-25	Virgin - Flights Perth To Kalgoorlie Return For Pool Operator 16/01/2026-13/02/2026	\$ 382.62	2147

**Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025**

Credit Cards

15-Dec-25	Credit - Virgin - Flight Kalgoorlie To Perth For Team Leader Ranger	\$ 289.01	2147
22-Dec-25	Credit - Virgin - Flight Perth To Kalgoorlie For Team Leader Ranger	\$ 289.01	2147
22-Dec-25	Virgin - Flights Perth To Kalgoorlie Return For Pool Operator 27/12/2025 - 16/01/2025	\$ 769.91	2147
22-Dec-25	Virgin - Flights Perth To Kalgoorlie Return For Pool Operator 27/12/2025 - 16/01/2025	\$ 402.87	2147
22-Dec-25	Easy Park - Airport Parking For Ceo 19/12/2025 - 01/01/2026	\$ 217.42	2147
28-Nov-25	Coyles Mower & Chainsaw Hire - New Head For Whipper Snipper	\$ 59.00	2842
3-Dec-25	Coyles Mower & Chainsaw Hire - Whipper Snipper Cord And Blades	\$ 166.00	2842
12-Dec-25	Woolworths - Water For Kambalda Work Depot Staff	\$ 8.00	2842
12-Dec-25	Woolworths - Power Board (Works Depot)	\$ 8.50	2842
18-Dec-25	Bws - Depot Xmas Drinks	\$ 116.00	2842
18-Dec-25	Woolworths - Debot Xmas Bbq	\$ 22.00	2842
		<u>\$ 9,285.69</u>	

Shire of Coolgardie
 Payments by Delegated Authority
 01 December to 31 December 2025
 Fuel Cards

Supplier	Ampol	Plant #	Fuel Card #	Registration	Plant Description	Usage Litres	Amount
Invoice Date	30/11/2025	P266	7071 3401 0686 9802	CG5779	Volvo BL71 Backhoe Loader	90.25 \$	178.51
Invoice Paid	5/12/2025	P273	7071 3400 9146 6523	Small Plant	Mowers, brushcutters, chainsaws	103.83 \$	190.75
		P273	7071 3400 8231 1282	Small Plant	Mowers, brushcutters, chainsaws	67.46 \$	121.57
		P346	7071 3400 8364 1646	CG144	Volkswagon Amarok	61.62 \$	122.22
		P360	7071 3400 8979 2070	CG6084	Isuzu Npr75-190	105.00 \$	203.60
		P364	7071 3401 0069 9916	CG6177	Toyota RAV4 2WD petrol white	64.36 \$	114.78
		P370	7071 3400 9610 8476	CG479	Mitsubishi Triton Glx Ute	215.80 \$	428.43
		P372	7071 3400 9471 1842	1HGY906	Ford Ranger	158.68 \$	315.57
		P373	7071 3400 9471 4382	1HGL412	Ranger 2021	296.02 \$	584.22
		P376	7071 3400 9540 6756	1HJB260	Ford Ranger	132.93 \$	264.13
		P377	7071 3400 9688 9711	Generator	Generator (Coolgardie Refuse)	116.89 \$	226.13
		P380	7071 3400 9753 7905	1HNX785	Gianni Ferrari PG280	60.23 \$	120.36
		P388	7071 3401 0020 0335	1HVC502	Ford Escape	124.37 \$	221.25
		P395	7071 3401 0355 5529	CG6270	Mazda BT Coolgardie Works	253.88 \$	495.84
		P397	7071 3401 0355 5727	CG6272	Mitsubishi Triton - Coolgardie Works	111.97 \$	220.99
		T1013	7071 3401 0567 1522	Hire Genset	Hire Genset Coolgardie	901.51 \$	1,778.01
		P398	7071 3401 0355 5776	CG6211	Mitsubishi Triton - Coolgardie Works	65.00 \$	128.04
		P382	7073 3400 9321 1927	Loader	Caterpillar 962M Wheel Loader	583.51 \$	1,137.51
		P383	7070 3400 9321 1927	Compactor	Caterpillar 826K Compactor	361.94 \$	711.77
		P393	7070 3400 9321 1927	Articulated truck	Articulated Truck Bell B40D Moxi	535.19 \$	1,053.96
						\$	8,617.64

Supplier	BP	Plant #	Fuel Card #	Registration	Vehicle	Usage Litres	Amount
Invoice Date	30/11/2025	P273	7050 15304261 00999	Small Plant	Mowers, BrushCutters, Chainsaws	71.59 \$	118.72
Invoice Paid	5/12/2025	P277	7050 90000781 16406	1DRW996	Grader	282.98 \$	521.57
		P293	7050 15304261 00791	1EBB757	Fuso 2012 Tip Model	123.41 \$	227.20
		T1004	7050 90000774 19199	Generator	Generator at Kambalda Tip	200.47 \$	369.07
		P305	7050 15304261 00825	1EFH177	Kubota Tractor	44.2 \$	79.72
		P345	7050 15304261 01229	CG6103	Caterpillar Loader HV033	650.18 \$	1,183.49
		P355	7050 15304261 01146	1GSR486	Hino 500	201.97 \$	368.39
		P357	7050 15304261 01138	CG6142	Caterpillar 262DAC	40.76 \$	72.99
		P361	7050 15304261 01179	CG6183	Ford Ranger	76.62 \$	138.19
		P362	7050 15304261 01187	CG6196	Ford Ranger	231.50 \$	415.91

Shire of Coolgardie
 Payments by Delegated Authority
 01 December to 31 December 2025
 Fuel Cards

P364	7050 15304261 01534	CG6177	Toyota RAV4	281.27 \$	471.87
P365	7050 15304261 01328	CG6159	Toyota RAV 4	327.91 \$	549.89
P367	7050 15304261 01302	CG6190	VW Amarak	42.02 \$	75.79
P372	7050 15304261 01344	1HGY906	Ford Ranger	126.82 \$	230.44
P389	7050 15304261 01526	1HVE647	TORO Mower	27.80 \$	49.99
P386	7050 15304261 01484	CG5961	Ford Ranger	243.12 \$	441.21
P394	7050 15304261 01559	CG6260	Mazda BT-50	42.63 \$	78.48
P396	7050 15304261 01575	CG6256	Mitsubishi Triton GLX	119.96 \$	219.36
				\$	5,612.28

Supplier	Eagle Petroleum	Invoice	Invoice Date	Invoice Paid	Location	Litres	Amount
		B70691	03.11.2025	05.12.2025	Bluebush Village	5,000 \$	9,638.75
		B69108	10.11.2025	05.12.2025	Bluebush Village	4,700 \$	9,072.83
		B69118	17.11.2025	05.12.2025	Bluebush Village	6,000 \$	11,555.28
						\$	30,266.86

Shire of Coolgardie
Payments by Delegated Authority
01 December to 31 December 2025
Woolworths Cards

Invoice Date	Invoice Paid	Invoice No	Description	Card	Amount
01/11/2025	18/12/2025	TI-03B72-178DD9	Melbourne Cup Luncheon For Staff & Community	Coolgardie	\$ 151.32
05/11/2025	18/12/2025	TI-03B72-178DDA	Citizenship Ceremony Supplies	Kambalda	\$ 138.99
09/11/2025	18/12/2025	TI-03B72-178ddb	Power Board For Leisure & Recreational Manager	Kambalda	\$ 22.00
18/11/2025	18/12/2025	TI-03B72-178DDD	Seniors Christmas Food And Drink Supplies	Kambalda	\$ 253.41
20/11/2025	18/12/2025	TI-03B72-178DDE	Gift Cards For Outgoing Councillors	Kambalda	\$ 1,015.90
20/11/2025	18/12/2025	TI-03B72-178DDF	Gift Cards For Outgoing Councillors	Kambalda	\$ 1,015.90
25/11/2025	18/12/2025	TI-03B72-178DE0	Batteries For Kambalda Office	Kambalda	\$ 28.50
26/11/2025	18/12/2025	TI-03B72-178DE1	Staff Christmas Party Food And Beverages	Kambalda	\$ 226.29
					\$ 2,852.31

11.2.5 LIST OF PAYMENTS - JANUARY 2026

Location: Nil
Applicant: Nil
Disclosure of Interest: Nil
Date: 17 February 2026
Author: Raj Subbiah, Finance Manager

SUMMARY

For Council to receive the list of accounts for January 2026.

BACKGROUND

The Local Government (Financial Management) Regulations 1996, Regulation 13(3)(b) requires that Council receive a list of accounts paid in the month, and that this be recorded in the minutes. Council has delegated to the Chief Executive Officer that authority to make these payments from Municipal and Trust Funds.

COMMENT

Presented in this item is a table of accounts (invoices) and includes that cheque (or EFT) identifier for the transaction, the entity, date, and amount paid, description of the goods, service, or other that relates to the payment. Extra details of invoices relating to payments are included for the information of Councillors.

The schedule of payment made under delegated authority as summarised below and recommended to be received by Council, has been checked and is supported by vouchers and invoices which have been duly certified as to the receipt of goods and provision of services, and verification of prices and costings.

Significant Payments for the month of January 2026 are: -

1. Sirrom Village Services – Management of Bluebush Village \$417,765.02
2. St John Medical Kambalda – Kambalda Medical Service Provisions Oct – Dec 2025 \$171,380.00
3. Office Of The Auditor General – 2024/2025 Fees \$120,532.50

CONSULTATION

Nil

STATUTORY ENVIRONMENT

Local Government (Financial Management) Regulations 1996, Regulation 13 – Lists of Accounts

POLICY IMPLICATIONS

CS-PROCUREMENTS POLICY. Policy CS-11 sets the guidelines with regards to the purchase of goods or services provided.

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

Maintain integrated strategic and operational plans

High quality corporate governance, accountability and compliance

ATTACHMENTS**1. List of Payments - January 2026****VOTING REQUIREMENT**

Simple majority

OFFICER RECOMMENDATION

That Council:

1. Receive listing (attached) of accounts paid during the month of January 2026 by the Chief Executive Officer under delegated authority of Council.
 - a. Municipal accounts totalling \$1,617,869.98 on municipal vouchers EFT30062 – EFT30200 and Direct Debits
 - b. Credit Card totalling \$4,937.59
 - c. Fuel Card payments totalling \$15,204.09
 - d. BBV fuel payments totalling \$71,484.14
 - e. Woolworths Card Payment Total \$3,194.95

COUNCIL RESOLUTION #22/2026

Moved: Cr Tracey Rathbone

Seconded: Cr Anthony Ball

That Council:

1. **Receive listing (attached) of accounts paid during the month of January 2026 by the Chief Executive Officer under delegated authority of Council.**
 - a. **Municipal accounts totalling \$1,617,869.98 on municipal vouchers EFT30062 – EFT30200 and Direct Debits**
 - b. **Credit Card totalling \$4,937.59**
 - c. **Fuel Card payments totalling \$15,204.09**
 - d. **BBV fuel payments totalling \$71,484.14**
 - e. **Woolworths Card Payment Total \$3,194.95**

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
EFT's

EFT	Date	Name	Description	Amount
EFT30062	07/01/2026	Cornies Café	Bond Return For Lease Of Cafe At Krcf	\$ 733.33
EFT30063	15/01/2026	3E Advantage Pty Ltd	Printer Services - Shire Of Coolgardie Dec 25	\$ 4,793.79
EFT30064	15/01/2026	Aaron Cook	Uber Charges July-December 2025	\$ 1,117.14
EFT30065	15/01/2026	Air Liquide	Rental Fee Month - November 2025	\$ 70.78
EFT30066	15/01/2026	Ast Transport	Wet Hire Of Truck And Side Tipper	\$ 3,168.00
EFT30067	15/01/2026	Alu Glass	Repairs To Rear Glass Panel Door - Coolgardie Rec Centre	\$ 605.00
EFT30068	15/01/2026	Ampol	Fuel Charges For Fleet December 2025	\$ 8,076.39
EFT30069	15/01/2026	Andrew Charles Burns	Reimbursement Claim For Parking	\$ 30.00
EFT30070	15/01/2026	Auscoinswest	Souvenir Stock For Coolgardie Visitor Centre	\$ 776.60
EFT30071	15/01/2026	Aust-Weigh Pty Ltd	Coolgardie Waste Facility Annual Weighbridge Calibration	\$ 6,996.00
EFT30072	15/01/2026	Beilby Downing Teal Pty Ltd	Recruitment Of The Ceo 1st Stage	\$ 5,170.00
EFT30073	15/01/2026	Bidfood Kalgoorlie	Meals On Wheels - Extra Large Gloves For Kambalda	\$ 36.41
EFT30074	15/01/2026	Blackwoods	Drum Pumps 20Ltr And Spray	\$ 514.50
EFT30075	15/01/2026	Bp Australia Limited	Fuel Charges For Fleet - December 2025	\$ 7,127.70
EFT30076	15/01/2026	Bunnings	Spider/ Insect Bombs Various Soc Facilities	\$ 89.06
EFT30077	15/01/2026	Calcharge Payments Pty Ltd	Taxi Charges Dec 25	\$ 263.60
EFT30078	15/01/2026	Container Refrigeration	Hire Sea Container December 2025	\$ 3,733.95
EFT30079	15/01/2026	Controlled Wasteholdings	Emergency Pump Out Of Coolgardie Vibe Pump Station Pit	\$ 7,436.00
EFT30080	15/01/2026	Daphne Mae Simmons	Milage Claim For Council	\$ 264.00
EFT30082	15/01/2026	Eagle Petroleum Pty Ltd	Diesel For Blue Bush (12 Invoices)	\$ 57,848.56
EFT30083	15/01/2026	Eurofins Arl Pty Ltd	Eurofins Water Analysis For Emyjor Septic Waste.	\$ 1,960.75
EFT30084	15/01/2026	Foxtel Management Ptt Ltd	Kam Gym Annual Foxtel Subscription	\$ 155.00
EFT30085	15/01/2026	Geoffrey Harcombe	Environmental Health And Consultancy Services For Nov - Dec 2025	\$ 7,563.53
EFT30086	15/01/2026	Gibson Soak Water Co	Water For Kambalda Rec Centre And Admin Building November 2025	\$ 26.00
EFT30087	15/01/2026	Goldfields Locksmiths	Replacement Of Locks/Barrels 11 Goodenia Court X 3	\$ 1,477.80
EFT30088	15/01/2026	Goldfields Records Storage	Storage Of Archive Boxes For Shire Of Coolgardie - Nov 25	\$ 199.10
EFT30089	15/01/2026	Goodnews Newsagency	Newspaper For Kambalda Administration - November 2025	\$ 194.60
EFT30090	15/01/2026	Great Northern Tree Lopping	Remove Dangerous Trees On The Verge (John Morgan St)	\$ 3,000.00
EFT30091	15/01/2026	Hart Sport	Leisure Kamfitness Aqua Class Equipment And Freight	\$ 1,590.99
EFT30093	15/01/2026	Hc Construction Services Pty	Inspect Emergency Works And Prepare Claim For Dfes	\$ 13,068.00
EFT30094	15/01/2026	Hitachi Construction	Rubber Strap Door .	\$ 1,384.45
EFT30095	15/01/2026	Hse Collective	Whs Consultant Services - Dec 25	\$ 1,020.00
EFT30096	15/01/2026	Iga Coolgardie	Invoice Summary For 01/11/2025 - 30/11/2025	\$ 130.40
EFT30097	15/01/2026	Ingenua Pty Ltd	Engineering Support As Per Rft 08/2024 Dec 25	\$ 6,570.30
EFT30098	15/01/2026	Integrated Ict	Upgrade / Backup / Security Services For Nov 2025 (7 Invoices)	\$ 44,640.56
EFT30099	15/01/2026	Jobfit Health Group	Medical And Drug Screen Life Guard	\$ 601.70
EFT30100	15/01/2026	Jointly Planning And Mapping	Town Planning And Strategic Projects And Land For November 2025	\$ 3,498.00
EFT30101	15/01/2026	Kennards Hire Pty Ltd	Warden Finnerty'S Portaloos Hire Dec 2025	\$ 369.60
EFT30102	15/01/2026	Kmart Australia	Rashy Shirts X12 Coolpool	\$ 103.50
EFT30103	15/01/2026	Kodi Sticken	Part Items And Printer Toner	\$ 394.50
EFT30104	15/01/2026	Leeson Electrical Contracting	Inspection And Repair Washing Machines At Bluebush Village	\$ 3,269.24
EFT30105	15/01/2026	Lg Corporate Solutions	Corporate Assistance Sep - Dec 2025 (Council Res 43/2022) (9 Invoices)	\$ 70,213.53
EFT30106	15/01/2026	Mall Atwell Leisure Group	Pingo Supplies For Kambalda	\$ 828.70
EFT30107	15/01/2026	Mister Signs	Supply Round Gal Pole 3250mm	\$ 1,375.00
EFT30108	15/01/2026	Napa Kalgoorlie	Windscreen Chip Repair Kit .	\$ 1,173.57
EFT30110	15/01/2026	New Harmony Trading Pty Ltd	Service Provided Under Rft 03/2023	\$ 4,785.00
EFT30111	15/01/2026	Nov Australia Pty Ltd	Hire Of Genset For Coolgardie Waste Facility - Dec 25	\$ 1,050.50
EFT30112	15/01/2026	Office Of The Auditor General	2024/2025 Audit Fee (1 Invoice)	\$ 120,532.50
EFT30113	15/01/2026	Ohms Environment Pty Ltd	Coolgardie Waste Facility Quarterly Groundwater Sampling - Dec 25	\$ 4,443.11
EFT30114	15/01/2026	Omnicom Media Group	Advertising - Coolgardie Waste Facility - Trench Construction	\$ 1,111.76
EFT30115	15/01/2026	Plumbing Gas And Electrical	Vibe Pump Station Monthly Maintenance Dec 2025	\$ 5,052.54
EFT30116	15/01/2026	Pool Robotic Perth	Coolpool Vacuum Repairs And Service	\$ 1,898.60
EFT30117	15/01/2026	Pryce Mining Services Pty Ltd	500Kva Genset Hire - Bluebush Village December 2025	\$ 12,589.72
EFT30118	15/01/2026	Red Dot	Prizes For Christmas Pingo - Coolgardie	\$ 149.77
EFT30119	15/01/2026	Repco - Gpc Pacific Pty Ltd	Oils And Ppe For Workshop	\$ 169.59
EFT30120	15/01/2026	Resources Trading Hub	Compactor Model70 For Road Maintenance	\$ 5,664.44
EFT30121	15/01/2026	Rothwell Publishing	Souvenir Passports For Stock At Coolgardie Visitor Centre	\$ 154.00
EFT30122	15/01/2026	Royal Life Saving Society Of	Kaf Ato Contractor 18 - 28 Dec 2025 (Wages, Travel)	\$ 9,515.43
EFT30123	15/01/2026	Rsea Pty Ltd	Airport Staff - Boots And Shorts	\$ 296.97
EFT30124	15/01/2026	Sabine Taylor	Reimbursement For Airport Parking	\$ 478.16
EFT30125	15/01/2026	Sheree Kathleen Forward	Reimbursement For Event	\$ 50.85
EFT30126	15/01/2026	Sirrom Village Services Pty	Bluebush Village Management December 2025 (3 Invoices)	\$ 417,765.02
EFT30127	15/01/2026	Site Ware Group	Uniform Order For Outside Staff And Waste Staff	\$ 6,292.33
EFT30128	15/01/2026	St John Medical Kambalda	Service Provision Kambalda Medical Centre Oct - Dec 2025 (1 Invoice)	\$ 171,380.00
EFT30129	15/01/2026	Steven Tweedie	Governance Advice (Council Resolution #43/2022) Nov - Dec 2025	\$ 396.00
EFT30130	15/01/2026	Supagas Pty Limited	Coolgardie Community Recreation Centre Bulk Gas - Dec 25	\$ 833.00
EFT30131	15/01/2026	Sykes Transport Wa	Freight From Environex 09/12/2025	\$ 342.97

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
EFT's

EFT	Date	Name	Description	Amount
EFT30132	15/01/2026	Synergy	Grouped Electrical For Various Soc Locations Oct - Dec 25 (9 Invoices)	\$ 49,960.22
EFT30133	15/01/2026	Taps Industries Pty Ltd	Vibe Pump Station Emergency Call Out 22/11/2025	\$ 6,207.30
EFT30134	15/01/2026	Team Global Express Pty Ltd	Freight For Period 05 - 11 Dec 25	\$ 272.85
EFT30135	15/01/2026	Total Connections	Water Tank Suction Line	\$ 603.18
EFT30136	15/01/2026	Truckline	Seat Base For Bell B40D Moxy Tip Truck	\$ 1,306.67
EFT30137	15/01/2026	Tyrepower Kalgoorlie	Replace Bus Tyres - Maxxis TI Ue102 , 7.00R16 117/116N 12 Ply .	\$ 2,023.00
EFT30138	15/01/2026	Uniqco International Pty Ltd	Procurement Support For Bbv, Truck Stop & Road Work Prog For Dec 2025	\$ 11,319.00
EFT30139	15/01/2026	Uon Pty Ltd	1X 8Kva Generator Hire December 2025	\$ 4,884.05
EFT30140	15/01/2026	Versatile Plant & Contracting	Road Works And Storm Damage at Various Locations (3 Invoices)	\$ 99,188.31
EFT30141	15/01/2026	Wa Hino	Repairs To Hino Prime Mover (1 Invoice)	\$ 21,144.60
EFT30142	15/01/2026	Water Corporation	Water Usage And Services Various Location Oct - Dec 2025	\$ 9,405.96
EFT30143	15/01/2026	Western Airport Services	Airport Baggage Handling Fee - December 2025 (1 Invoice)	\$ 52,470.00
EFT30144	15/01/2026	Westrac Pty Ltd	Park Brake And Exhaust Repairs Cat 962M Loader	\$ 4,668.77
EFT30145	15/01/2026	Wildflora Factory Pty Ltd	Wildflower Seeds For Coolgardie Visitor Centre	\$ 424.00
EFT30146	15/01/2026	Winc Australia Pty Ltd	Australia Day 2026 - Certificate Paper And Frames	\$ 267.08
EFT30147	15/01/2026	Woolworths Ltd	Various event and office supplies (December 2025)	\$ 3,194.95
EFT30148	29/01/2026	First National Real Estate	Rent 13/8 Myoporum Street, Kambalda West (Jan - Feb 2026)	\$ 1,390.47
EFT30149	29/01/2026	Alu Glas	Emergency Repairs To Visitor Centre And Coolgardie Rec-Centre Broken	\$ 1,465.00
EFT30150	29/01/2026	Anthony Raymond George	Mileage Claim Councilors Meetings - Dec 2025	\$ 264.00
EFT30151	29/01/2026	Ast Transport	Wet Hire Of Truck And Side Tipper - Dec 2025	\$ 3,168.00
EFT30152	29/01/2026	Atf Services Pty Ltd	Temporary Fencing Hire Extension - Lady Loch Road Jan To June 2026	\$ 2,542.65
EFT30153	29/01/2026	Batteries N More Pty Ltd	Coolpool Replacement Batteries For Pool Buddy 12Sb40Cl	\$ 631.20
EFT30154	29/01/2026	Bidfood Kalgoorlie	Australia Day Breakfast Supplies - Coolgardie And Kambalda January 2026	\$ 1,285.69
EFT30155	29/01/2026	Blackwoods	Safety Glasses And Workshop Cleaning Supplies	\$ 308.46
EFT30156	29/01/2026	Department Of Local	Bsl October 2025	\$ 1,320.95
EFT30157	29/01/2026	Bunnings	Chlorine Granulated	\$ 2,473.16
EFT30158	29/01/2026	Casair Pty Ltd	Repayment - Liability As Per Council Resolution January 2026	\$ 22,000.00
EFT30159	29/01/2026	Civic Legal	Professional Legal Fees - Contract Advise For Ceo	\$ 9,350.00
EFT30160	29/01/2026	Cleanaway Pty Ltd	Refuse Collection Dec 2025 (Residential Bin Collection) (5 Invoices)	\$ 29,793.73
EFT30161	29/01/2026	Coopers Carpet Cleaning Wa	Steam Cleaning Of Carpets In Coolgardie	\$ 1,640.00
EFT30162	29/01/2026	Dean'S Auto Glass	Supply And Replace Driver Window	\$ 460.00
EFT30163	29/01/2026	Department Of Water And	Kambalda Waste Facility Annual Fees.	\$ 2,172.50
EFT30164	29/01/2026	Diamond Networks	Spare Wave Maker Aerators For The Wastewater Treatment Plant	\$ 3,168.00
EFT30165	29/01/2026	Eagle Petroleum Pty Ltd	Diesel 7200L For Blue Bush 07/01/2026	\$ 15,039.26
EFT30166	29/01/2026	Elite Gym Hire	Kangym Equipment Wipes	\$ 2,029.10
EFT30167	29/01/2026	Emyjr Services	Replacement For The Meter Next To The Recreation Centre	\$ 1,815.00
EFT30168	29/01/2026	Environex International	Dpd Xf Tablets	\$ 3,497.53
EFT30169	29/01/2026	Ess	Meals On Wheels December 2026	\$ 3,511.20
EFT30170	29/01/2026	Eurofins Ari Pty Ltd	Water Analysis For Emyjr Septic Waste	\$ 207.90
EFT30171	29/01/2026	Fiesta Canvas	Shade Sail Install Rymer Park (Requires Cherry Picker)	\$ 3,283.50
EFT30172	29/01/2026	Foxtel	Kam Gym Annual Foxtel Subscription January 2026	\$ 155.00
EFT30173	29/01/2026	Global Communication	Loader Two Way Radio Replacement P345	\$ 2,390.47
EFT30174	29/01/2026	Goldfields Records Storage	Storage Of Archive Boxes For Shire Of Coolgardie Dec 25	\$ 476.34
EFT30175	29/01/2026	Harvey Norman	Display Port To Hdmi For Coolgardie Resource Centre	\$ 119.80
EFT30176	29/01/2026	Jil	Monthly Outgoing January 2026	\$ 2,484.54
EFT30177	29/01/2026	Jointly Planning And Mapping	Town Planning And Strategic Projects And Land For Dec 2025	\$ 3,300.00
EFT30178	29/01/2026	Kambalda Carpet & Tile	Carpet Cleaning Kambalda Administration - 3Rd January 2025	\$ 726.00
EFT30179	29/01/2026	Keast Pest Management	Cat Management	\$ 180.00
EFT30180	29/01/2026	Kennards Hire Pty Ltd	Warden Finnerty'S Portaloo Hire (01 - 13 Jan 2026)	\$ 123.20
EFT30181	29/01/2026	Leeson Electrical Contracting	Supply / Install 80A Isolator (Over-Temperature Cut-Out) for Bbv oven	\$ 4,708.17
EFT30182	29/01/2026	Mcleods Lawyers	Annual Audit 2025	\$ 192.50
EFT30183	29/01/2026	Mister Signs	Water Truck Controlled Waste Signage	\$ 539.00
EFT30184	29/01/2026	Momar Australia	Sewerage Ponds Bacteria Passage	\$ 5,171.65
EFT30185	29/01/2026	Neal Winship	Repairing Paint Job At 5 Dundas Court, Kambalda West	\$ 740.00
EFT30186	29/01/2026	New Harmony Trading	Rft 03/2023 - Local Government Services December 2025	\$ 8,167.50
EFT30187	29/01/2026	Plumbing Gas And Electrical	Maintenance Bluebush Village December 2026	\$ 4,961.12
EFT30188	29/01/2026	Public Transport Authority Wa	Transwa Ticket Sale - December 2025	\$ 724.90
EFT30189	29/01/2026	Renatta Gabriela Hayward	Rates Refund For Assessment A3035	\$ 942.00
EFT30190	29/01/2026	Repco	1Px7 2W Floating Ufh Orange Hand Radios Kampool	\$ 960.69
EFT30191	29/01/2026	Rocweld	Fence Repairs Donkin Park	\$ 2,574.00
EFT30192	29/01/2026	Rsea Pty Ltd	P3 Mask And Filters And Disposable Gloves For Cleaning.	\$ 878.45
EFT30193	29/01/2026	Sara Louise Whincup	Rates Refund For Assessment A182844	\$ 743.83
EFT30194	29/01/2026	Shire Of Coolgardie	Transwa Ticket Sale Commission	\$ 218.70
EFT30195	29/01/2026	Signature Security Group	Alarm Monitoring - Coolgardie Rec Jan2025 - Mar 2026	\$ 828.40
EFT30196	29/01/2026	Synergy	Power Supply Charge 13/01/2026 -14/01/2026	\$ 374.50
EFT30197	29/01/2026	Tamsee Louise Keast	Mileage Claim Councilors Meetings - Dec 2025	\$ 380.16
EFT30198	29/01/2026	Telstra Limited	Telstra Grouped Billing Jan - Feb 2026	\$ 1,226.17

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
EFT's

EFT	Date	Name	Description	Amount
EFT30199	29/01/2026	Uniqco International Pty Ltd	Data And Software Management Dec 2025	\$ 3,630.00
EFT30200	29/01/2026	Water Corporation	Water Usage / Services For Various Locations Oct - Dec 2025	\$ 9,698.97
				<u>\$ 1,476,385.19</u>

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Direct Deposits

Chq/EFT	Date	Name	Description	Amount
DD10279.1	1/01/2026	Australian Taxation Office	Payg Payrun 01.01.2026 #282	\$ 15,974.00
DD10282.1	6/01/2026	Fleetcare	Payroll Deductions/Contributions	\$ 811.31
DD10284.1	7/01/2026	Australian Taxation Office	Payg For Period 24.12.2025-06.01.2026 #283	\$ 41,360.00
DD10284.2	7/01/2026	Beam Clearing House	Superannuation For Payruns #282 & #283 Ppe 06.01.2026	\$ 21,924.46
DD10298.1	20/01/2026	Fleetcare	Payroll Deductions/Contributions	\$ 811.31
DD10300.1	20/01/2026	Australian Taxation Office	Payg For Period 07.01.2026-20.01.2026 Payrun#284	\$ 40,154.00
DD10300.2	20/01/2026	Beam Clearing House	Superannuation For Period 07.01.2026-20.01.2026 Payrun#284	\$ 20,449.71
				\$ 141,484.79

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Credit Cards

Date	Description	Value
1-Jan-26	Square Service - Monthly Subscription	\$ 109.00
8-Jan-26	Flights – Kalgoorlie To Perth Return For Ceo 15/01/2026 To 19/01/2026	\$ 402.87
15-Jan-26	Flights – Kalgoorlie To Perth Return For Ceo 04/02/2026 To 09/02/2026	\$ 656.92
29-Dec-25	Intuit Mailchimp - Monthly Subscription	\$ 19.64
12-Jan-26	Starlink - Coolgardie Depot Wifi Monthly Charge	\$ 99.00
12-Jan-26	Starlink - Kambalda Airport Wifi Monthly Cahрге	\$ 139.00
12-Jan-26	Starlink - Coolgardie Tip Wifi Monthly Charge	\$ 99.00
12-Jan-26	Starlink - Kambalda Tip Wifi Monthly Charge	\$ 99.00
12-Jan-26	Starlink - Coolgardie Tv Antenna Wifi Monthly Charge	\$ 139.00
19-Jan-26	Woolworths - Australia Day Catering Supplies	\$ 223.20
19-Jan-26	Woolworths - Australia Day Catering Supplies	\$ 16.80
19-Jan-26	Woolworths Kambalda Recreation Centre Honey Day	\$ 3.00
19-Jan-26	Woolworths Kambalda Recreation Centre Honey Day	\$ 14.40
19-Jan-26	Red Dot - Australia Day Decorations	\$ 82.42
16-Jan-26	Kmart - Australia Day Prizes	\$ 218.00
19-Jan-26	Reject Shop - Australia Day Prizes Supplies	\$ 21.00
19-Jan-26	Kmart - Australia Day Prizes	\$ 200.00
16-Jan-26	Facebook Related Expense - 9V6Ljaz672	\$ 2.70
5-Jan-26	Perth To Kalgoorlie For Hse Collective Site Visit 20/01/2026 To 23/01/2026	\$ 1,058.34
1-Jan-26	Parking Fee Ceo At The Kalgoorlie Airport 01/01/2026 - 06/01/2026	\$ 83.62
12-Jan-26	Kalgoorlie To Perth For Pool Operator 20/01/2026 – Extended Stay/Additional Assistance	\$ 109.00
13-Jan-26	Parking Fee Ceo At The Kalgoorlie Airport 08/01/2026 - 12/01/2026	\$ 66.90
16-Jan-26	Parking Fee Ceo At The Kalgoorlie Airport 15/01/2026 - 19/01/2027	\$ 66.90
12-Jan-26	Department Of Water And Environmental Regulation - Controlled Waste Licence (Driver)	\$ 225.00
12-Jan-26	Department Of Water And Environmental Regulation - Controlled Waste Licence (Driver)	\$ 225.00
12-Jan-26	Department Of Water And Environmental Regulation - Controlled Waste Licence (Carrier)	\$ 225.00
12-Jan-26	Department Of Water And Environmental Regulation - Controlled Waste Licence (Carrier)	\$ 225.00
23-Dec-25	Staff Bbq Coolgardie - Cool Drink & Food Supplies	\$ 28.28
23-Dec-25	Staff Bbq Coolgardie - Bread	\$ 9.60
23-Dec-25	Staff Bbq Coolgardie - Gas Bottle Exchange 8.5Kg	\$ 35.00

Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Credit Cards

12-Jan-26 Gas Bottle Exchange 8.5Kg

\$ 35.00

\$ 4,937.59

**Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Fuel Cards**

Supplier	Ampol	Plant #	Fuel Card #	Registration	Plant Description	Usage Litres	Amount
Invoice Date	31/12/2025	P229	7071 3400 8168 0273	CG5774	Toyota Coaster Bus	118.71	\$ 226.26
Invoice Paid	15/01/2026	P229	7071 3400 8168 1867	CG5774	Toyota Coaster Bus	11.56	\$ 21.84
		P273	7071 3400 9146 6523	Small Plant	Mowers, Brushcutters, Chainsaws (Variou	71.11	\$ 125.49
		P344	7071 3400 8207 7529	CG6097	Vw Amarak	40.89	\$ 70.70
		P346	7071 3400 8364 1646	CG144	Volkswagon Amarak	325.49	\$ 604.72
		P351	7071 3400 8746 7253	CG6152	Prime Mover -Hino 700 Series	363.00	\$ 618.56
		P360	7071 3400 8979 2070	CG6084	Isuzu Npr75-190	246.10	\$ 461.29
		P365	7071 3400 9189 1902	CG6159	Toyota Rav 4	91.97	\$ 159.32
		P372	7071 3400 9471 1842	1HGY906	Ford Ranger	76.64	\$ 145.26
		P373	7071 3400 9471 4382	1HGL412	Ranger 2021	172.03	\$ 321.92
		P374	7071 3400 9500 2688	CG6234	Mitsubishi Triton Glx	195.18	\$ 362.53
		P376	7070 3400 9540 6756	1HJB259	Ford Ranger	178.93	\$ 331.94
		P377	7071 3400 9688 9711	Generator	Generator (Coolgardie Refuse Site)	471.34	\$ 885.22
		P380	7071 3400 9753 7905	1HNX785	Gianni Ferrari Pg280	53.69	\$ 99.15
		P388	7071 3401 0020 0335	1HVC502	Ford Escape	43.97	\$ 77.84
		P395	7071 3401 0355 5529	CG6270	Mazda Bt Coolgardie Works	124.23	\$ 227.21
		P397	7071 3401 0355 5727	CG6272	Mitsubishi Triton - Coolgardie Works	114.16	\$ 211.93
		T1013	7071 3401 0567 1522	Hire Genset	Hire Genset Coolgardie	822.07	\$ 1,516.08
		P398	7071 3401 0355 5776	CG6211	Mitsubishi Triton - Coolgardie Works	161.74	\$ 300.24
		P229	7071 3400 9321 1927	CG5774	Toyota Coaster Bus 4.1L Diesel	118.71	\$ 221.07
		P382	7073 3400 9321 1927	Loader	Caterpillar 962M Wheel Loader	584.14	\$ 1,087.81
							\$ 8,076.39
Supplier	BP	Plant #	Fuel Card #	Registration	Vehicle	Usage Litres	Amount
Invoice Date	31/12/2025	P273	7050 15304261 00999	Small Plant	Mowers, Brushcutters, Chainsaws	105.70	\$ 179.81
Invoice Paid	15/01/2026	P216	7050 90000774 51762	1DOT173	Cat 930H Loader	376.46	\$ 669.41
		P305	7050 15304261 00825	1EFH177	Kubota Tractor	94.50	\$ 166.79

**Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Fuel Cards**

Plant #	Fuel Card #	Registration	Vehicle	Usage Litres	Amount
P317	7050 15304261 01518	1E1Y151	Torox-Maste Mower Kambalda	41.34	\$ 73.12
P344	7050 15304261 01039	CG6097	Vw Amorok	105.25	\$ 180.67
P345	7050 15304261 01229	CG6103	Caterpillar Loader Hv033	507.70	\$ 897.00
P348	7050 15304261 01062	CG148	2017 Ford Ranger	130.62	\$ 228.86
P355	7050 15304261 01146	1GSR486	Hino 500	284.71	\$ 501.69
P361	7050 15304261 01179	CG6183	Ford Ranger	81.16	\$ 142.20
P362	7050 15304261 01187	CG6196	Ford Ranger	172.56	\$ 296.69
P364	7050 15304261 01534	CG6177	Toyota Rav4	204.71	\$ 339.78
P365	7050 15304261 01328	CG6159	Toyota Rav 4	322.89	\$ 535.65
P370	7050 15304261 01393	CG479	Mitsubishi Triton	109.58	\$ 192.00
P385	7050 15304261 01476	1HTZ098	Volkswagen Amarok	87.97	\$ 151.84
P386	7050 15304261 01484	CG5961	Ford Ranger	126.91	\$ 222.36
P387	7050 15304261 01500	Loader	Cat Track Dozer	1,018.81	\$ 1,806.66
P389	7050 15304261 01526	1HVE647	Toro Mower	18.88	\$ 33.45
P394	7050 15304261 01559	CG6260	Mazda Bt-50	111.37	\$ 197.14
P396	7050 15304261 01575	CG6256	Mitsubishi Triton Glx	177.27	\$ 312.58
					\$ 7,127.70

Supplier	Eagle Petroleum	Invoice	Invoice Date	Invoice Paid	Location	Litres	Amount
		B71004	04.12.2025	15.01.2026	Kambalda Bluebush Village	5,100	\$ 9,371.34
		B71011	09.12.2025	15.01.2026	Kambalda Bluebush Village	7,003	\$ 13,446.88
		B71024	15.12.2025	15.01.2026	Kambalda Bluebush Village	5,801	\$ 11,096.73
		B71039	19.12.2025	15.01.2026	Kambalda Bluebush Village	4,340	\$ 8,397.47
		B71049	24.12.2025	15.01.2026	Kambalda Bluebush Village	3,800	\$ 7,343.01
		B69212	30.12.2025	15.01.2026	Kambalda Bluebush Village	4,200	\$ 8,080.38
		B69225	07.01.2026	29.01.2026	Kambalda Bluebush Village	7,200	\$ 13,748.33
							\$ 71,484.14

**Shire of Coolgardie
Payments by Delegated Authority
01 January to 31 January 2026
Woolworths Cards**

Invoice Date	Invoice Paid	Invoice No	Description	Card		Amount
24/12/2025	15/01/2026	TI 03B72 178DEA	Pool Supplies Kambalda And Coolgardie (On Sale) - Kambalda	Kambalda	\$	49.00
22/12/2025	15/01/2026	TI 03B72 178DE9	Pool Supplies Kambalda And Coolgardie (On Sale) - Kambalda	Kambalda	\$	183.80
21/12/2025	15/01/2026	TI 03B72 178DE8	Pool Supplies Kambalda And Coolgardie (On Sale) - Kambalda	Kambalda	\$	37.50
19/12/2025	15/01/2026	TI 03B72 178DE7	Gift Vouchers (Awards) Photo Competition - Kambalda	Kambalda	\$	2,255.65
16/12/2025	15/01/2026	TI 03B72 178DE6	Youth Night Supplies - Kambalda	Kambalda	\$	115.50
13/12/2025	15/01/2026	TI 03B72 178DE5	Community Morning Tea And After School Refreshments - Coolgardie	Coolgardie	\$	156.68
08/12/2025	15/01/2026	TI 03B72 178DE4	Meals On Wheels Supplies - Kambalda	Kambalda	\$	61.25
04/12/2025	15/01/2026	TI 03B72 178DE3	Kitchen Supplies - Kambalda	Kambalda	\$	39.60
03/12/2025	15/01/2026	TI 03B72 178DE2	Christmas Pingo Refreshments - Coolgardie	Coolgardie	\$	295.97
					\$	3,194.95

11.2.6 MONTHLY FINANCIAL STATEMENTS FOR THE MONTH ENDED 31 DECEMBER 2025

Location: Shire of Coolgardie
Applicant: Shire of Coolgardie
Disclosure of Interest: Nil
Date: 17 February 2026
Author: Raj Subbiah, Finance Manager

SUMMARY

This report recommends that the Monthly Statement of Financial Activity report for the period ending 31 December 2025 is presented to Council for adoption.

BACKGROUND

In accordance with regulation 34 of the *Local Government (Financial Management) Regulations*, the Shire is to prepare a Monthly Financial Statement for approval by Council.

The format for monthly reporting was introduced by the Department of Local Government from 01 July 2005; the change was implemented to provide elected members with a better idea of operating and capital revenues and expenditures. The requirement is for a Statement of Financial Activity with a report detailing material variances. The Financial Report presented includes this as well as other statements and supplementary information.

Section 6.4 of the Local Government Act 1995 requires that financial reports be prepared and presented in the manner and form prescribed in the *Local Government (Financial Management) Regulations*. Regulation 34 has been amended to require that Councils report on the sources and applications of funds on a monthly basis and that the report be noted by Council.

COMMENT

Attached for consideration is the completed Monthly Financial Report.

The document includes Statements of Financial Activity by Program, and Nature and Type, notes to the financial statements, an explanation of material variance as well as a summary of bank account balances at 31 December 2025, loan repayments, and reserve account status.

In accordance with the *Local Government (Financial Management) Regulations*, a report must be compiled on variances greater than the percentage agreed by Council which is currently 10% or \$10,000. With the report prepared at program level, comments have been made regarding variances. A nil variance is equal to 100%, meaning that the year-to-date actual is identical to the year-to-date budget. Comments are therefore provided where variance values are <90% or >100% and the dollar variance exceeds \$10,000.

CONSULTATION

Nil

STATUTORY ENVIRONMENT

- *Local Government Act 1995 Section 6.4*
- *Local Government (Financial Management) Regulations 1996 Section 34*

34. Financial activity statement required each month (Act s. 6.4)

(1A) *In this regulation —*

committed assets means revenue unspent but set aside under the annual budget for a specific purpose.

(1) *A local government is to prepare each month a statement of financial activity reporting on the revenue and expenditure, as set out in the annual budget under regulation 22(1)(d), for that month in the following detail —*

(a) *annual budget estimates, taking into account any expenditure incurred for an additional purpose under section 6.8(1)(b) or (c); and*

(b) *budget estimates to the end of the month to which the statement relates; and*

(c) *actual amounts of expenditure, revenue and income to the end of the month to which the statement relates; and*

(d) *material variances between the comparable amounts referred to in paragraphs (b) and (c); and*

(e) *the net current assets at the end of the month to which the statement relates.*

(2) *Each statement of financial activity is to be accompanied by documents containing —*

(a) *an explanation of the composition of the net current assets of the month to which the statement relates, less committed assets and restricted assets; and*

(b) *an explanation of each of the material variances referred to in sub regulation (1)(d); and*

(c) *such other supporting information as is considered relevant by the local government.*

(3) *The information in a statement of financial activity may be shown —*

(a) *according to nature and type classification; or*

(b) *by program; or*

(c) *by business unit.*

(4) *A statement of financial activity, and the accompanying documents referred to in sub regulation (2), are to be —*

(a) *Presented at an ordinary meeting of the council within 2 months after the end of the month to which the statement relates; and*

(b) *Recorded in the minutes of the meeting at which it is presented.*

(5) *Each financial year, a local government is to adopt a percentage or value, calculated in accordance with the AAS, to be used in statements of financial activity for reporting material variances.*

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

The Financial Report is information only and there are no financial implications relating to this item.

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

Demonstrating sound financial management and plans for the Shire's long term financial sustainability

High quality corporate governance, accountability and compliance

Ensuring the Shire of Coolgardie is well positioned to meet future needs

ATTACHMENTS

1. Monthly Financial Statements - December 2025
2. Management Report - December 2025
3. Major Trading Undertakings - December 2025

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION

That Council receive the Monthly Financial Activity Statement for the period 01 July 2025 to 31 December 2025.

COUNCIL RESOLUTION #23/2026

Moved: Cr Anthony Ball

Seconded: Cr Tammee Keast

That Council receive the Monthly Financial Activity Statement for the period 01 July 2025 to 31 December 2025.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

SHIRE OF COOLGARDIE
MONTHLY FINANCIAL REPORT
(Containing the required statement of financial activity and statement of financial position)
For the period ended 31 December 2025
LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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SHIRE OF COOLGARDIE
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2025

Note	Amended Budget Estimates (a)	YTD Budget Estimates (b)	YTD Actual (c)	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var
	\$	\$	\$	\$	%	
OPERATING ACTIVITIES						
Revenue from operating activities						
General rates	14,863,651	15,177,523	15,064,577	(112,946)	(0.74%)	
Grants, subsidies and contributions	2,353,700	1,210,858	852,704	(358,154)	(29.58%)	▼
Fees and charges	14,810,361	8,559,711	9,586,050	1,026,339	11.99%	▲
Interest revenue	211,600	159,073	213,684	54,611	34.33%	▲
Other revenue	371,371	165,686	138,895	(26,791)	(16.17%)	▼
Fair value adjustments to financial assets at fair value through profit or loss	0	0	94,448	94,448	0.00%	
	32,610,683	25,272,851	25,950,358	677,507	2.68%	
Expenditure from operating activities						
Employee costs	(6,556,837)	(3,307,126)	(2,586,534)	720,592	21.79%	▲
Materials and contracts	(12,200,564)	(5,572,524)	(5,187,373)	385,151	6.91%	▲
Utility charges	(1,837,710)	(919,630)	(953,196)	(33,566)	(3.65%)	
Depreciation	(8,790,851)	(4,401,294)	(3,588,180)	813,114	18.47%	▲
Finance costs	(1,583,240)	(802,995)	(537,011)	265,984	33.12%	▲
Insurance	(613,000)	(613,000)	(569,843)	43,157	7.04%	
Other expenditure	(1,913,423)	(1,284,232)	(1,071,115)	213,117	16.59%	▲
	(33,495,625)	(16,900,801)	(14,493,252)	2,407,549	14.25%	
Non cash amounts excluded from operating activities	2(c) 8,840,851	4,401,294	3,511,732	(889,562)	(20.21%)	▼
Amount attributable to operating activities	7,955,909	12,773,344	14,968,838	2,195,494	17.19%	
INVESTING ACTIVITIES						
Inflows from investing activities						
Proceeds from capital grants, subsidies and contributions	5,865,534	3,692,510	91,769	(3,600,741)	(97.51%)	▼
	5,865,534	3,692,510	91,769	(3,600,741)	(97.51%)	
Outflows from investing activities						
Payments for property, plant and equipment	(898,716)	(739,858)	(515,600)	224,258	30.31%	▲
Payments for construction of infrastructure	(8,193,668)	(4,054,336)	(520,353)	3,533,983	87.17%	▲
	(9,092,384)	(4,794,194)	(1,035,953)	3,758,241	78.39%	
Amount attributable to investing activities	(3,226,850)	(1,101,684)	(944,184)	157,500	14.30%	
FINANCING ACTIVITIES						
Inflows from financing activities						
Proceeds from new borrowings	0	0	0	0	0.00%	
Transfer from reserves	0	0	0	0	0.00%	
	0	0	0	0	0.00%	
Outflows from financing activities						
Payments for principal portion of lease liabilities	(1,816,539)	(891,988)	(853,456)	38,532	4.32%	
Transfer to reserves	(359,600)	(4,800)	(3,509)	1,291	26.90%	
	(2,176,139)	(896,788)	(856,965)	39,823	4.44%	
Amount attributable to financing activities	(2,176,139)	(896,788)	(856,965)	39,823	4.44%	
MOVEMENT IN SURPLUS OR DEFICIT						
Surplus or deficit at the start of the financial year	2(a) (3,544,614)	(3,544,614)	(3,544,614)	0	0.00%	
Amount attributable to operating activities	7,955,909	12,773,344	14,968,838	2,195,494	17.19%	▲
Amount attributable to investing activities	(3,226,850)	(1,101,684)	(944,184)	157,500	14.30%	▲
Amount attributable to financing activities	(2,176,139)	(896,788)	(856,965)	39,823	4.44%	
Surplus or deficit after imposition of general rates	(991,694)	7,230,258	9,623,075	2,392,817	33.09%	▲

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data outside the adopted materiality threshold.

▲ Indicates a variance with a positive impact on the financial position.

▼ Indicates a variance with a negative impact on the financial position.

Refer to Note 3 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF COOLGARDIE
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 DECEMBER 2025

	Actual 30 June 2025	Actual as at 31 December 2025
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	3,663,724	12,284,382
Trade and other receivables	2,535,152	4,254,016
Other financial assets	257,825	261,333
Inventories	156,263	156,558
Other assets	19,302	20,775
TOTAL CURRENT ASSETS	6,632,266	16,977,064
NON-CURRENT ASSETS		
Trade and other receivables	264,610	246,610
Other financial assets	99,525	193,972
Property, plant and equipment	37,945,264	37,765,107
Infrastructure	113,181,807	110,965,714
Right-of-use assets	4,850,265	4,694,289
Investment property	17,290,000	17,290,000
TOTAL NON-CURRENT ASSETS	173,631,471	171,155,692
TOTAL ASSETS	180,263,737	188,132,756
CURRENT LIABILITIES		
Trade and other payables	5,357,321	2,196,725
Other liabilities	2,089,524	2,524,075
Lease liabilities	1,816,537	963,081
Bank Overdraft	0	0
Employee related provisions	432,031	432,031
Other provisions	2,040,179	1,939,824
TOTAL CURRENT LIABILITIES	11,735,592	8,055,736
NON-CURRENT LIABILITIES		
Lease liabilities	249,474	249,474
Borrowings	25,463,497	25,463,497
Employee related provisions	114,684	114,684
Other provisions	4,484,467	4,484,467
TOTAL NON-CURRENT LIABILITIES	30,312,122	30,312,122
TOTAL LIABILITIES	42,047,714	38,367,858
NET ASSETS	138,216,023	149,764,898
EQUITY		
Retained surplus	47,021,443	58,566,809
Reserve accounts	257,825	261,334
Revaluation surplus	90,936,755	90,936,755
TOTAL EQUITY	138,216,023	149,764,898

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF COOLGARDIE
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2025

1 BASIS OF PREPARATION AND MATERIAL ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supplementary information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 20 January 2026

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

MATERIAL ACCOUNTING POLICIES

Material accounting policies utilised in the preparation of these statements are as described within the 2024-25 Annual Budget. Please refer to the adopted budget document for details of these policies.

Critical accounting estimates and judgements

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

As with all estimates, the use of different assumptions could lead to material changes in the amounts reported in the financial report.

The following are estimates and assumptions that have a significant risk of causing a material adjustment to the carrying amounts of assets and liabilities within the next financial year and further information on their nature and impact can be found in the relevant note:

- Fair value measurement of assets carried at reportable value including:
 - Property, plant and equipment
 - Infrastructure
- Impairment losses of non-financial assets
- Expected credit losses on financial assets
- Assets held for sale
- Investment property
- Estimated useful life of intangible assets
- Measurement of employee benefits
- Measurement of provisions
- Estimation uncertainties and judgements made in relation to lease

SHIRE OF COOLGARDIE
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2025

2 NET CURRENT ASSETS INFORMATION

		Amended Budget Opening	Actual as at	Actual as at
	Note	1 July 2025	30 June 2025	31 December 2025
(a) Net current assets used in the Statement of Financial Activity				
Current assets		\$	\$	\$
Cash and cash equivalents		3,921,549	3,663,724	12,284,382
Trade and other receivables		2,535,152	2,535,152	4,254,016
Other financial assets		0	257,825	261,334
Inventories		156,263	156,263	156,558
Other assets		19,302	19,302	20,775
		6,632,266	6,632,266	16,977,064
Less: current liabilities				
Trade and other payables		(5,357,321)	(5,357,321)	(2,196,725)
Contract Liabilities		(2,089,524)	(2,089,524)	(2,524,075)
Lease liabilities		(1,816,537)	(1,816,537)	(963,081)
Bank Overdraft		0	0	0
Employee related provisions		(432,031)	(432,031)	(432,031)
Other provisions		(2,040,179)	(2,040,179)	(1,939,824)
		(11,735,592)	(11,735,592)	(8,055,736)
Net current assets		(5,103,326)	(5,103,326)	8,921,328
Less: Total adjustments to net current assets	2(b)	1,558,712	1,558,712	701,741
Closing funding surplus / (deficit)		(3,544,614)	(3,544,614)	9,623,070
(b) Current assets and liabilities excluded from budgeted deficiency				
Adjustments to net current assets				
Less: Reserve accounts		(257,825)	(257,825)	(261,334)
Add: Current liabilities not expected to be cleared at the end of the year				
- Current portion of lease liabilities		1,816,537	1,816,537	963,081
Total adjustments to net current assets	2(a)	1,558,712	1,558,712	701,741
(c) Non-cash amounts excluded from operating activities				
		Amended Budget Estimates	YTD Budget Estimates	YTD Actual
		30 June 2026	31 December 2025	31 December 2025
		\$	\$	\$
Adjustments to operating activities				
Less: Fair value adjustments to financial assets at fair value through profit or loss		0	0	(94,448)
Add: Depreciation		8,790,851	4,401,294	3,588,180
Movement in current employee provisions associated with restricted cash		50,000	0	0
Non-cash movements in non-current assets and liabilities:				
- Trade Receivables		0	0	18,000
Total non-cash amounts excluded from operating activities		8,840,851	4,401,294	3,511,732

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the local governments' operational cycle.

SHIRE OF COOLGARDIE
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2025

3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2025-26 year is \$10,000 and 10.00% whichever is the greater.

Description	Var. \$	Var. %
	\$	%
Revenue from operating activities		
Grants, subsidies and contributions	(358,154)	(29.58%) ▼
CDC Support Hub		
Fees and charges	1,026,339	11.99% ▲
Bluebush Village (\$957k), Kambalda Aerodrome (\$48k), Other (\$117k)		
Interest revenue	54,611	34.33% ▲
Interest on Term Deposits, Rates & Penalty Interest & Interest		
Other revenue	(26,791)	(16.17%) ▼
Workers Compensation Claim		
Employee costs	720,592	21.79% ▲
Not all budgeted positions filled to date		
Utility charges	0	0.00%
Bluebush Village Utility costs		
Depreciation	813,114	18.47% ▲
ROU Asset classed as Investment Property therefore not depreciated		
Finance costs	265,984	33.12% ▲
2024-25 Interest Accrual (costs included in 25/26 budget)		
Insurance	43,157	7.04%
Workers Compensation less than budgeted		
Other expenditure	213,117	16.59% ▲
Lower costs in Elected Member Costs (\$82k), Rates Recovery Costs (\$75k) & Coolgardie Visitor Centre costs (\$30k)		
Non cash amounts excluded from operating activities	(889,562)	(20.21%) ▼
Depreciation costs highlighted above		
Inflows from investing activities		
Proceeds from capital grants, subsidies and contributions	(3,600,741)	(97.51%) ▼
RRG & RTR Road funding due to projects only just commencing		
Outflows from investing activities		
Payments for property, plant and equipment	224,258	30.31% ▲
Plant Replacement Program		
Payments for construction of infrastructure	3,533,983	87.17% ▲
Road Renewal Program		
Surplus or deficit at the start of the financial year	0	0.00%
Refer to Note 2(a) for detail of variances.		
Surplus or deficit after imposition of general rates	2,392,817	33.09% ▲
As per the above explanations		

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
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BASIS OF PREPARATION - SUPPLEMENTARY INFORMATION

Supplementary information is presented for information purposes. The information does not comply with the disclosure requirements of the Australian Accounting Standards.

SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 DECEMBER 2025

1 KEY INFORMATION

Funding Surplus or Deficit Components

Funding surplus / (deficit)				
	Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	(\$3.54 M)	(\$3.54 M)	(\$3.54 M)	\$0.00 M
Closing	(\$0.99 M)	\$7.23 M	\$9.62 M	\$2.39 M

Refer to Statement of Financial Activity

Cash and cash equivalents		
	\$	% of total
Unrestricted Cash	\$9.58 M	76.3%
Restricted Cash	\$2.97 M	23.7%

Refer to 3 - Cash and Financial Assets

Payables		
	\$	% Outstanding
Trade Payables	\$1.61 M	
0 to 30 Days		79.7%
Over 30 Days		20.2%
Over 90 Days		17.8%

Refer to 8 - Payables

Receivables		
	\$	% Collected
Rates Receivable	\$2.49 M	84.4%
Trade Receivable	\$1.76 M	
Over 30 Days		28.3%
Over 90 Days		5.9%

Refer to 5 - Receivables

Key Operating Activities

Amount attributable to operating activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$7.96 M	\$12.77 M	\$14.97 M	\$2.20 M

Refer to Statement of Financial Activity

Rates Revenue		
YTD Actual	YTD Budget	% Variance
\$15.06 M	\$15.18 M	(0.7%)

Grants and Contributions		
YTD Actual	YTD Budget	% Variance
\$0.85 M	\$1.21 M	(29.6%)

Refer to 12 - Grants and Contributions

Fees and Charges		
YTD Actual	YTD Budget	% Variance
\$9.59 M	\$8.56 M	12.0%

Refer to Statement of Financial Activity

Key Investing Activities

Amount attributable to investing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$3.23 M)	(\$1.10 M)	(\$0.94 M)	\$0.16 M

Refer to Statement of Financial Activity

Proceeds on sale		
YTD Actual	Amended Budget	%
\$0.00 M	\$0.00 M	

Asset Acquisition		
YTD Actual	Amended Budget	% Spent
\$0.52 M	\$8.19 M	(93.6%)

Refer to 5 - Capital Acquisitions

Capital Grants		
YTD Actual	Amended Budget	% Received
\$0.09 M	\$5.87 M	(98.4%)

Refer to 5 - Capital Acquisitions

Key Financing Activities

Amount attributable to financing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$2.18 M)	(\$0.90 M)	(\$0.86 M)	\$0.04 M

Refer to Statement of Financial Activity

Borrowings	
Principal repayments	\$0.00 M
Interest expense	(\$0.52 M)
Principal due	\$25.46 M

Refer to 9 - Borrowings

Reserves	
Reserves balance	\$0.26 M
Net Movement	\$0.00 M

Refer to 4 - Cash Reserves

Lease Liability	
Principal repayments	(\$0.85 M)
Interest expense	(\$0.02 M)
Principal due	\$1.21 M

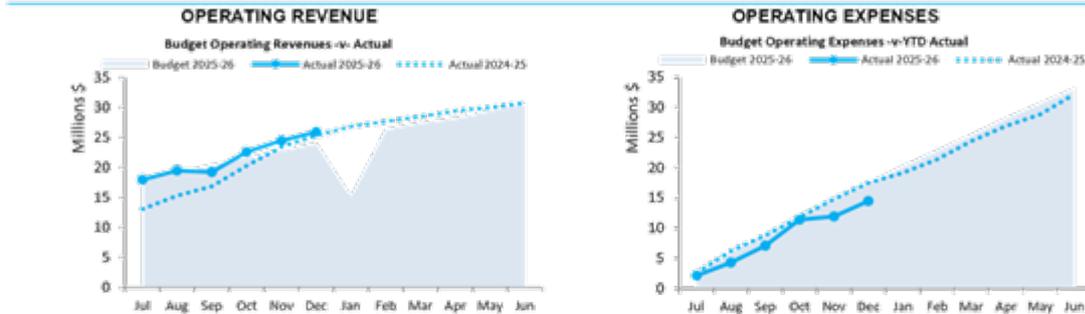
Refer to Note 10 - Lease Liabilities

This information is to be read in conjunction with the accompanying Financial Statements and notes.

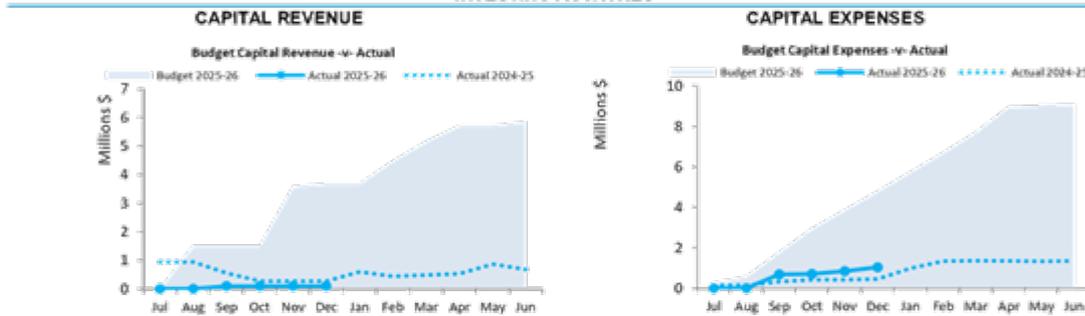
SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 DECEMBER 2025

2 KEY INFORMATION - GRAPHICAL

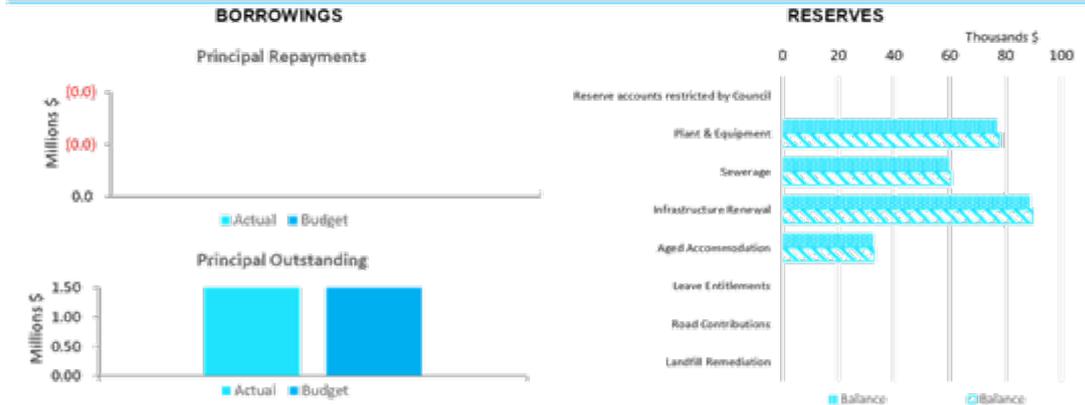
OPERATING ACTIVITIES



INVESTING ACTIVITIES



FINANCING ACTIVITIES



Closing funding surplus / (deficit)



This information is to be read in conjunction with the accompanying Financial Statements and Notes.

SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 DECEMBER 2025

3 CASH AND FINANCIAL ASSETS AT AMORTISED COST

Description	Classification	Unrestricted	Restricted	Total	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	\$	\$			
CBA Municipal Cash at Bank / Overdraft Facility - GEN	Cash and cash equivalents	3,167,783	0	3,167,783	0	CBA	N/A	N/A
Municipal Cash at Bank	Cash and cash equivalents	52,235	0	52,235	0	ANZ	Variable	N/A
Cash On Hand	Cash and cash equivalents	840	0	840	0	ANZ	N/A	N/A
CBA - Term Deposit Reserves	Financial assets at amortised cost	0	261,334	261,334	0	CBA	N/A	N/A
CBA Muni Restricted Cash at Bank	Cash and cash equivalents	12,780	0	12,780	0	CBA	Variable	N/A
CBA - Short Term Deposit Road Funding	Cash and cash equivalents	0	661,391	661,391	0	CBA	3.81%	22/12/2025
CBA Trust Cash at Bank	Cash and cash equivalents	0	181,833	181,833	0	CBA	N/A	N/A
CBA - Short Term Deposit 02	Cash and cash equivalents	1,515,062	0	1,515,062	0	CBA	4.08%	10/01/2026
CBA - Short Term Deposit 03	Cash and cash equivalents	1,510,370	0	1,510,370	0	CBA	4.02%	12/12/2025
CBA - Short Term Deposit 04	Cash and cash equivalents	3,029,414	0	3,029,414	0	CBA	4.02%	10/12/2025
Unspent Grants Term Deposit	Cash and cash equivalents	289,990	1,862,684	2,152,674	0	CBA	3.74%	28/12/2025
Total		9,578,474	2,967,242	12,545,716	0			
Comprising								
Cash and cash equivalents		9,578,474	2,705,908	12,284,382	0			
Cash and cash equivalents		0	261,334	261,334	0			
		9,578,474	2,967,242	12,545,716	0			

KEY INFORMATION

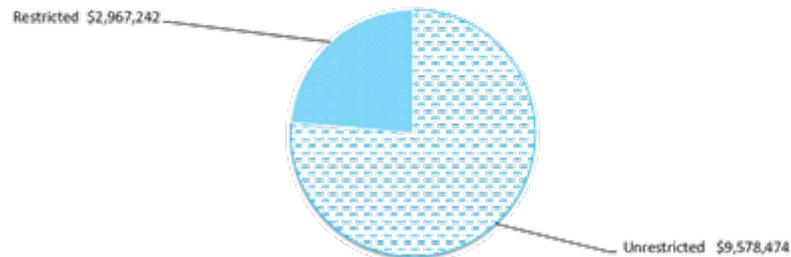
Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value.

Bank overdrafts are reported in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 7 - Other assets.



**SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025**

4 RESERVE ACCOUNTS

Reserve account name	Budget				Actual			
	Opening Balance	Transfers In (+)	Transfers Out (-)	Closing Balance	Opening Balance	Transfers In (+)	Transfers Out (-)	Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$
Reserve accounts restricted by Council								
Plant & Equipment	76,901	52,863	0	129,764	76,901	1,046	0	77,947
Sewerage	59,725	82,224	0	141,949	59,725	813	0	60,538
Infrastructure Renewal	88,677	53,302	0	141,979	88,677	1,207	0	89,884
Aged Accommodation	32,522	31,211	0	63,733	32,522	443	0	32,965
Leave Entitlements	0	50,000	0	50,000	0	0	0	0
Road Contributions	0	40,000	0	40,000	0	0	0	0
Landfill Remediation	0	50,000	0	50,000	0	0	0	0
	257,825	359,600	0	617,425	257,825	3,509	0	261,334

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS

Capital acquisitions	Amended		YTD Actual	YTD Variance
	Budget	YTD Budget		
	\$	\$	\$	\$
Buildings - specialised	695,000	563,000	508,732	54,26
Furniture and equipment	53,716	26,858	6,233	20,62
Plant and equipment	150,000	150,000	635	149,36
Acquisition of property, plant and equipment	898,716	739,858	515,600	224,25
Infrastructure - Roads	7,043,668	3,509,336	479,173	3,030,16
Infrastructure - Footpaths	230,000	0	0	
Infrastructure - Drainage	200,000	0	0	
Infrastructure - Sewerage	75,000	75,000	0	75,00
Infrastructure - Parks & Ovals	75,000	0	0	
Infrastructure - Other Infrastructure	570,000	470,000	41,180	428,82
Acquisition of infrastructure	8,193,668	4,054,336	520,353	3,533,98
Total of PPE and Infrastructure.	9,092,384	4,794,194	1,035,953	(3,758,24)
Total capital acquisitions	9,092,384	4,794,194	1,035,953	3,758,24
Capital Acquisitions Funded By:				
Capital grants and contributions	5,865,534	3,692,510	91,769	3,600,74
Contribution - operations	3,226,850	8,486,704	944,184	(7,542,52)
Capital funding total	9,092,384	12,179,214	1,035,953	(3,941,77)

KEY INFORMATION

Initial recognition

An item of property, plant and equipment or infrastructure that qualifies for recognition as an asset is measured at its cost.

Upon initial recognition, cost is determined as the amount paid (or other consideration given) to acquire the assets, plus costs incidental to the acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Local Government (Financial Management) Regulation 17A(5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

Individual assets that are land, buildings and infrastructure acquired between scheduled revaluation dates of the asset class in accordance with the Shire's revaluation policy, are recognised at cost and disclosed as being at reportable value.

Measurement after recognition

Plant and equipment including furniture and equipment and right-of-use assets (other than vested improvements) are measured using the cost model as required under *Local Government (Financial Management) Regulation 17A(2)*. Assets held under the cost model are carried at cost less accumulated depreciation and any impairment losses being their reportable value.

Reportable Value

In accordance with *Local Government (Financial Management) Regulation 17A(2)*, the carrying amount of non-financial assets that are land and buildings classified as property, plant and equipment, investment properties, infrastructure or vested improvements that the local government controls.

Reportable value is for the purpose of *Local Government (Financial Management) Regulation 17A(4)* is the fair value of the asset at its last valuation date minus (to the extent applicable) the accumulated depreciation and any accumulated impairment losses in respect of the non-financial asset subsequent to its last valuation date.

HIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS (CONTINUED) - DETAILED

Account Description	Amended		YTD Actual	Variance
	Budget	YTD Budget		Under/ (Over)
Non Specialised Buildings				
Nil	0	0	0	
Total Non Specialised Buildings	0	0	0	
Specialised Buildings				
C13179 Kambalda Youth Facility	100,000	40,000	0	40,000
C13122A 11 Goodenia Court - Construction Of 3 Units	475,000	475,000	469,661	5,339
C11073 Korf Building Upgrades And Renewals	20,000	8,000	0	8,000
C11150 Kambalda Recreation Centre - Stadium Floor	30,000	12,000	39,071	(27,071)
C11032 Coolgardie Recreation Centre	50,000	20,000	0	20,000
C13039 Coolgardie Cultural & Community Hub	20,000	8,000	0	8,000
Total Specialised Buildings	695,000	563,000	508,732	54,268
Furniture & Equipment				
C04003 It Upgrades And Replacements	53,716	26,858	6,233	20,623
Total Furniture & Equipment	53,716	26,858	6,233	20,623
Plant & Equipment				
C13078 Small Plant Purchases	30,000	30,000	635	29,365
C12065 Parks & Gardens Truck	120,000	120,000	0	120,000
Total Plant & Equipment	150,000	150,000	635	149,365
Roads				
R002 Coolgardie North Road Construction	312,000	156,000	0	156,000
R153 Bayley Street	25,000	0	0	
RRG002A 23-24 Rrg Coolgardie North Rd - Slk 14.90 To Slk 17.10	1,279,811	639,906	0	639,905
RRG002B 24-25 Rrg Coolgardie North Rd - Slk 10.91 To 11.51	188,145	94,073	0	94,072
RRG002C 24-25 Rrg Coolgardie North Rd - Slk 18.10 To 26.90	477,084	238,542	0	238,542
RRG002D 24-25 Rrg Coolgardie North Rd - Slk 13.40 To 17.50	314,472	157,236	0	157,236
RRG002E 25-26 Rrg Coolgardie North Rd - Slk 6.35 To 9.76	285,000	142,500	0	142,500
RRG002F 25-26 Rrg Coolgardie North Rd - Slk 22.20 To 26.90	600,000	300,000	0	300,000
RRG004A 25-26 Rrg Nepean Rd - Slk 1.90 To 4.30	270,000	135,000	0	135,000
RRG005B 25-26 Rrg Victoria Rock Rd - Slk 0.75 To 1.75	150,000	75,000	0	75,000
RRG005A 24-25 Rrg Victoria Rock Rd - Slk 0.15 To 0.75	255,341	127,671	0	127,670
RRG052 Regional Road Group - Jaurdi Hills Road	345,000	172,500	344,027	(171,527)
RTRCOOL Rtr Coolgardie Projects - Budget Purposes Only	418,484	209,242	0	209,242
RTRKAM Rtr Kambalda Projects - Budget Purposes Only	425,331	212,666	0	212,666
FD001 Flood Damage General	275,000	137,500	123,266	142,234
FD001A Flood Damage - Coolgardie N Road	0	0	11,880	(11,880)
R039 Durkin Road Construction	168,000	84,000	0	84,000
R053 Ladyloch Road Construction	1,000,000	500,000	0	500,000
RTR022B Rtr - Lefroy Street (Bayley To Sylvester) Slk 0.00 To 0.11	60,000	30,000	0	30,000
RTR022C Rtr Lefroy Street (Woodward To Bayley) - Slk 0.00 To 0.07	45,000	22,500	0	22,500
RTR034A Ford Street (Woodward To Bayley Street) Slk 0.00 To 0.12	150,000	75,000	0	75,000
Total Roads	7,043,668	3,509,336	479,173	3,030,165
Footpaths				
RF002 Footpath Renewal - Coolgardie	100,000	0	0	
RF003 Footpath Renewal - Kambalda	130,000	0	0	
Total Footpaths	230,000	0	0	
Drainage				
RD200 Drainage Renewal - Coolgardie	75,000	0	0	
RD100 Drainage Renewal - Kambalda	125,000	0	0	
Total Drainage	200,000	0	0	
Sewerage				

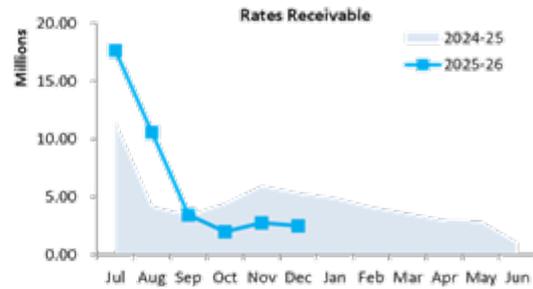
█ C10007	Coolgardie Sewerage - Water Re-Use System	75,000	75,000	0	75,000
█	Total Sewerage	75,000	75,000	0	75,000
Parks & Gardens					
█ PO100	Park Infrastructure Renewal - Kambalda	37,500	0	0	0
█ PO200	Park Infrastructure Renewal - Coolgardie	37,500	0	0	0
█	Total Parks & Gardens	75,000	0	0	0
Other Infrastructure					
█ C13143	Kambalda Dog Pound	50,000	50,000	0	50,000
█ C13178	Coolgardie Park Lighting	60,000	60,000	0	60,000
█ C11104	Coolgardie Satellite Television Broadcasting Service	30,000	30,000	20,699	9,301
█ C13180	Cool Truck Bay Bund Wall	80,000	80,000	2,231	77,769
█ RS004	Kambalda Refuse Site	100,000	0	0	0
█ C1015	Coolgardie Tip - New Cell	250,000	250,000	18,250	231,750
█	Total Other Infrastructure	570,000	470,000	41,180	428,820
Investment Property					
	Nil	0	0	0	0
	Total Investment Property	0	0	0	0
█	TOTAL CAPITAL EXPENDITURE	9,092,384	4,794,194	1,035,953	3,758,241

**SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025**

OPERATING ACTIVITIES

6 RECEIVABLES

Rates receivable	30 Jun 2025	31 Dec 2025
	\$	\$
Opening arrears previous year	874,878	1,065,203
Levied this year	12,711,267	15,064,577
Less - collections to date	(12,520,942)	(13,616,157)
Gross rates collectable	1,065,203	2,513,623
Allowance for impairment of rates receivable	(56,402)	(21,402)
Net rates collectable	1,008,801	2,492,221
% Collected	92.2%	84.4%



Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(1)	1,094,081	298,650	42,595	90,554	1,525,87
Percentage	0.0%	71.7%	19.6%	2.8%	5.9%	
Balance per trial balance						
Trade receivables						1,525,87
Other receivables						9,00
GST receivable						216,97
Pensioner Rebates						9,94
Total receivables general outstanding						1,761,79

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



**SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025**

OPERATING ACTIVITIES

7 OTHER CURRENT ASSETS

Other current assets	Opening Balance 1 July 2025	Asset Increase	Asset Reduction	Closing Balance 31 December 2025
	\$	\$	\$	
Other financial assets at amortised cost				
Term Deposit Reserves	257,825	3,508	0	261,333
Inventory				
Visitor Centre Stock	7,539	295	0	7,834
Gravel Basecourse	148,724	0	0	148,724
Other assets				
Accrued income	19,302	1,473	0	20,775
Total other current assets	433,390	5,276	0	438,666

Amounts shown above include GST (where applicable)

KEY INFORMATION

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 DECEMBER 2025

OPERATING ACTIVITIES

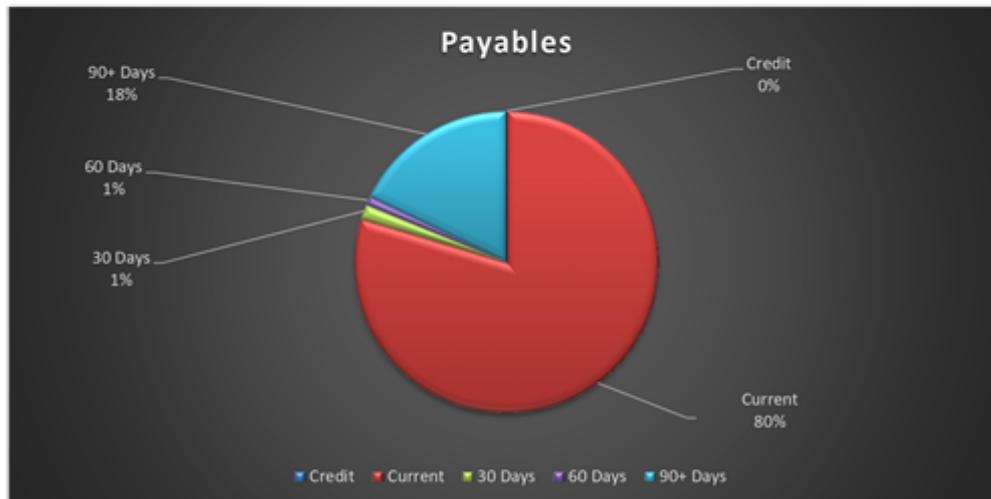
8 PAYABLES

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	1,284,051	24,369	15,125	287,563	1,611,10
Percentage	0.00%	79.70%	1.50%	0.90%	17.80%	
Balance per trial balance						
Sundry creditors						1,611,10
Accrued salaries and wages						13,27
ATO liabilities						122,92
Prepaid Rates						153,94
ESL Levy						104,81
Bonds & Deposits						189,40
Accrued Expenses						1,24
Total payables general outstanding						2,196,72

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

FINANCING ACTIVITIES

9 BORROWINGS

Repayments - borrowings

Information on borrowings Particulars	Institution	Loan No.	1 July 2025	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
				Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
			\$	\$	\$	\$	\$	\$	\$	\$	\$
Bluebush Village - Stage 1 Buildings (CBA Refinanced)	CBA	125	7,287,029	0	0	0	0	7,287,029	7,287,029	(59,099)	(390,48)
Bluebush Village - Stage 2 Construction (CBA Refinanced)	CBA	125	1,834,724	0	0	0	0	1,834,724	1,834,724	(37,780)	(98,31)
Bluebush Village - Stage 1 Executive Rooms (CBA Refinanced)	CBA	125	316,757	0	0	0	0	316,757	316,757	(128,360)	(17,15)
Goodenia Court Units (CBA Refinanced)	CBA	125	847,827	0	0	0	0	847,827	847,827	(14,884)	(45,24)
Coolgardie Aquatic Facilities (CBA Refinanced)	CBA	125	77,782	0	0	0	0	77,782	77,782	(1,366)	(4,16)
Kambalda Aquatic Facilities (CBA Refinanced)	CBA	125	1,085,793	0	0	0	0	1,085,793	1,085,793	(19,118)	(58,18)
Kambalda Aquatic Facilities (CBA Refinanced)	CBA	125	368,687	0	0	0	0	368,687	368,687	(6,486)	(19,75)
Coolgardie Post Office (CBA Refinanced)	CBA	125	332,758	0	0	0	0	332,758	332,758	(6,077)	(17,83)
CBA Overdraft Facility (CBA Refinanced)	CBA	125	812,140	0	0	0	0	812,140	812,140	(13,566)	(41,10)
Bluebush Village - Stage 1 Construction (ANZ Refinanced)	CBA	126	4,646,000	0	0	0	0	4,646,000	4,646,000	(85,942)	(278,76)
Coolgardie Class III Waste Facility (ANZ Refinanced)	CBA	126	1,463,100	0	0	0	0	1,463,100	1,463,100	(27,054)	(87,78)
Kambalda Aerodrome Refurbishment (ANZ Refinanced)	CBA	126	439,000	0	0	0	0	439,000	439,000	(8,134)	(26,34)
Bluebush Village - Stage 2 Construction (ANZ Refinanced)	CBA	126	1,874,995	0	0	0	0	1,874,995	1,874,995	(34,695)	(112,50)
Cashflow Assistance	CBA	126	4,076,905	0	0	0	0	4,076,905	4,076,905	(75,403)	(244,61)
Overdraft Facility	CBA	N/A	0	0	0	0	0	0	0	0	(27,50)
Total			25,463,497	0	0	0	0	25,463,497	25,463,497	(517,964)	(1,469,75)
Current borrowings			0					0			
Non-current borrowings			25,463,497					25,463,497			
			25,463,497					25,463,497			

Bank overdrafts and bank loans are secured by a floating charge over the rates of the Shire of Coolgardie.

KEY INFORMATION

The Shire has elected to recognise borrowing costs as an expense when incurred regardless of how the borrowings are applied.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

FINANCING ACTIVITIES

10 LEASE LIABILITIES

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2025	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	
Hino 700 Series (P351)	6320171	66,576	0	0	(10,414)	(66,576)	56,162	0	(697)	(280)
Hino 700 Series (P355)	6344997	66,169	0	0	(8,417)	(66,169)	57,752	0	(793)	(1,142)
BENQ Whiteboards	2073290	10,714	0	0	(5,777)	(10,714)	4,937	0	(354)	(328)
Meraki IT Equipment	190006130	18,163	0	0	(7,006)	(14,164)	11,157	3,999	(320)	(489)
TechnoGym - Kambalda Gym 1	147-0106194-002	44,650	0	0	(11,142)	(27,761)	33,508	16,889	(1,308)	(2,137)
TechnoGym - Kambalda Gym 2	187-1185-187-003	20,726	0	0	(7,756)	(10,816)	12,970	9,910	(973)	(1,653)
TechnoGym - Coolgardie Gym	187-1185-187-002	41,837	0	0	(5,212)	(10,634)	36,625	31,203	(1,004)	(1,923)
Vestone - Loader	COO01052022-YG-01	150,998	0	0	(45,997)	(80,034)	105,001	70,964	(5,146)	(7,642)
Vestone - Compactor	COO01052022-YG-01	247,907	0	0	(75,516)	(131,399)	172,391	116,508	(8,452)	(12,547)
Vestone - Kambalda 120 Person Camp	CAS-109046-NOW	1,398,271	0	0	(676,219)	(1,398,272)	722,052	(1)	0	(85,349)
Total		2,066,011	0	0	(853,456)	(1,816,539)	1,212,555	249,472	(19,047)	(113,490)
Current lease liabilities		1,816,537					963,081			
Non-current lease liabilities		249,474					249,474			
		2,066,011					1,212,555			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is or contains a lease, if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

OPERATING ACTIVITIES

11 OTHER CURRENT LIABILITIES

	Note	Opening Balance 1 July 2025	Liability transferred from/(to) non current	Liability Increase	Liability Reduction	Closing Balanc 31 December 2025
		\$	\$	\$	\$	\$
Other current liabilities						
Other liabilities						
Contract liabilities		10,000	0	8,000	0	10,000
Capital grant/contributions liabilities		2,079,524	0	798,320	(371,769)	2,514,000
Total other liabilities		2,089,524	0	806,320	(371,769)	2,524,000
Employee Related Provisions						
Provision for annual leave		267,086	0	0	0	267,086
Provision for long service leave		164,945	0	0	0	164,945
Total Provisions		432,031	0	0	0	432,031
Other Provisions						
Casair Dispute		200,793	0	0	(100,355)	100,438
Provision for Rates Disputes		1,839,386	0	0	0	1,839,386
Total Other Provisions		2,040,179	0	0	(100,355)	1,939,824
Total other current liabilities		4,561,734	0	806,320	(472,124)	4,895,930

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movements is provided on the following pages at Note 12 and 13

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured. Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 DECEMBER 2025

OPERATING ACTIVITIES

GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue		
	Liability 1 July 2025	Increase in Liability	Decrease in Liability (As revenue)	Liability 31 Dec 2025	Current Liability 31 Dec 2025	Amended Budget Revenue	YTD Budget	YTD Revenue Actual
	\$	\$	\$	\$	\$	\$	\$	
Grants and subsidies								
General Purpose Funding								
Financial Assistance Grants - General Purpose	0	0	0	0	0	294,245	147,123	138,921
Governance								
Australia Day	0	8,000	0	8,000	8,000	0	0	0
Law, Order & Public Safety								
DFES - Bushfire Grant	0	0	0	0	0	12,790	8,395	8,395
Education & Welfare								
Kambalda Community Resource Centre	0	0	0	0	0	132,558	67,779	98,131
Kambalda Recreation Centre	0	0	0	0	0	9,300	4,650	4,648
Coolgardie Community Resource Centre	0	0	0	0	0	127,201	65,101	94,075
Kambalda Community Resource Centre								0
Recreation & Culture								
Youth Services Grant	0	0	0	0	0	10,000	10,000	0
Transport								
Main Roads - Direct Grant	0	0	0	0	0	194,516	194,516	194,516
Financial Assistance Grants - Roads	0	0	0	0	0	344,590	172,295	174,797
Economic Services								
CDC Support Hub	0	0	0	0	0	360,000	0	0
	0	8,000	0	8,000	8,000	1,485,200	669,858	713,483
Contributions								
General Purpose Funding								
Governance								
Donations	0	0	0	0	0	2,000	1,000	4,545
Donations	0	0	0	0	0	0	0	473
Health								
Goldfields - Womens Health Care	0	0	0	0	0	35,000	35,000	0
Education & Welfare								
Goldfields - Meals on Meals	0	0	0	0	0	50,000	25,000	45,455
Community Amenities								
Sewerage Contributions	0	0	0	0	0	0	0	100,000
Transport								
Mining Contributions	0	0	0	0	0	0	0	0
Mining Haulage Funds	0	0	0	0	0	780,000	480,000	(11,252)
Economic Services								
Donations	0	0	0	0	0	1,500	0	0
Recreation & Culture								
Evolution - Youth Futures Lifeguard Program	10,000	0	0	10,000	10,000	0	0	0
	10,000	0	0	10,000	10,000	868,500	541,000	139,221
TOTALS	10,000	8,000	0	18,000	18,000	2,353,700	1,210,858	852,704

SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 DECEMBER 2025

INVESTING ACTIVITIES

13 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Capital grant/contribution liabilities					Capital grants, subsidies and contributions revenue		
	Liability 1 July 2025	Increase in Liability	Decrease in Liability (As revenue)	Liability 31 Dec 2025	Current Liability 31 Dec 2025	Amended Budget Revenue	YTD Budget	YTD Revenue Actual
	\$	\$	\$	\$	\$	\$	\$	\$
Capital grants and subsidies								
Recreation and Culture								
Kambalda Youth Centre Facility	0	0	0	0	0	100,000	100,000	0
Transport								
Main Roads - Heavy Vehicle Safety & Productivity Program	0	0	0	0	0	1,239,986	302,386	0
Main Roads - Regional Road Group	1,011,910	650,363	(91,769)	1,570,504	1,570,504	2,776,569	2,221,145	91,769
Main Roads - Black Spot	280,000	0	(280,000)	0	0	1,068,979	1,068,979	0
Department of Infrastructure - Roads to Recovery	55,101	0	0	55,101	55,101	0	0	0
LRCI - Phase 4 Roads	218,401	0	0	218,401	218,401	0	0	0
	1,565,412	650,363	(371,769)	1,844,006	1,844,006	5,185,534	3,692,510	91,769
Capital contributions								
General Purpose Funding								
Transport								
Road Haulage Funds	514,112	147,957	0	662,069	662,069	680,000	0	0
	514,112	147,957	0	662,069	662,069	680,000	0	0
TOTALS	2,079,524	798,320	(371,769)	2,506,075	2,506,075	5,865,534	3,692,510	91,769

**HIRE OF COOLGARDIE
UPPLEMENTARY INFORMATION
OR THE PERIOD ENDED 31 DECEMBER 2025**

14 BUDGET AMENDMENTS

Amendments to original budget since budget adoption. Surplus/(Deficit)

L/Job Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Balance
			\$	\$	\$	\$
Budget adoption						
						0
		2024/25 Audited Closing Deficit			(2,285,887)	(2,285,887)
33100	#231/2025	Bluebush Village Camp Rental Income		2,500,000		214,113
20775	#231/2025	Airport Landing Fees			(300,000)	(85,887)
00185	#231/2025	Coolgardie Waste - Contaminated			(400,000)	(485,887)
00186	#231/2025	Coolgardie Waste - Class 2			(100,000)	(585,887)
00187	#231/2025	Coolgardie Waste - Class 3		200,000		(385,887)
30278	#231/2025	Interest on Investments		100,000		(285,887)
0401	#231/2025	Executive Services - Members of Council		350,000		64,113
0402	#231/2025	Finance/Administration and Associated Costs		150,000		214,113
1405	#231/2025	Occupational Health & Safety		60,000		274,113
0431	#231/2025	Training And Conferences		20,000		294,113
1402	#231/2025	Staff Training		20,000		314,113
33260	#231/2025	Accommodation Management			(1,250,000)	(935,887)
1202	#231/2025	Kambalda Airport Operating			(75,000)	(1,010,887)
1203	#231/2025	Baggage Handling Fees		175,000		(835,887)
1204	#231/2025	Kambalda Aerodrome Runway Maintenance		250,000		(585,887)
1002	#231/2025	Contract For Household Waste - General		60,000		(525,887)
1013	#231/2025	Coolgardie Class Iii Operating Costs		30,000		(495,887)
1013	#231/2025	Coolgardie Refuse Site Maintenance		60,000		(435,887)
30183	#231/2025	Debit - Rates Written-Off			(555,807)	(991,694)
				3,975,000	(4,966,694)	(991,694)

Shire of Coolgardie

Matters Identified for the period ended 31 December 2025

Topic	Matter Raised	Date Identified	Date Reviewed	Explanation	Action Required	Priority	Management Comment	Status
Going Concern	Surplus / (Deficit) Position	Jan-25	Dec-25	The Shire reported a Surplus position of \$9,623,075 at 31 December 2025 (Nov-25: \$10,735,636 Surplus).	Management to continually monitor the current position to identify and potential financial risks and to ensure the long term financial sustainability of the organisation	HIGH	As a comparative there was a surplus position of \$377,184 at 31 December 2024. This represents a \$9,245,891 favourable variance to the same reporting period 12 months prior.	Ongoing
Going Concern	Net current liability	Jan-25	Dec-25	The Shire reported a net current asset position of \$8,921,328 at 31 December 2025 (Nov-25: \$9,682,076 Surplus).	Management to continually monitor the current position to ensure all short term commitments can be met.	HIGH	As a comparative the net liability at 31 December 2024 of (\$2,625,671) resulting in a \$11,546,999 favourable variance to the same reporting period 12 months prior.	Ongoing
Going Concern	Cash Position	Jan-25	Dec-25	For the period ended 31 December 2025 the Shire's cash & cash equivalent position is \$12,545,715 (Nov-25: \$13,151,583). Trade Receivables are \$4,254,016 (Nov-25: \$4,617,497 while Trade Payables are \$2,196,725 (Nov-25: \$2,037,795).	Rates & Trade Receivables need to be reviewed to assess the likelihood of outstanding balances being received.	HIGH	As a comparative the cash position at 31 December 2024 was \$961,444 resulting in a \$11,584,271 favourable difference to the reporting period 12 months prior.	Ongoing
Subsidiary Ledgers	Capital Grants & Subsidies Liability	Jan-25	Dec-25	There is currently a balance of \$2,524,075 (Nov-25: \$2,524,075) in Capital Grants & Contract Liabilities.	Management to carefully monitor the current position to ensure all short term commitments can be met.	HIGH	Completion of funded projects have been included in the 2025/26 Draft Budget. Capital projects will commence in Q2-Q3 of the 25/26 financial year and once obligations have been met the revenue will be recognised.	In Progress
Liabilities	Trade Payables	Jan-25	Nov-25	Sundry Creditors are \$1,611,107 (Nov-25: \$1,394,466) at 31 December 2025. \$287,562 or 18% of these creditors have been outstanding for 90+ days.	Management need to manage short term cash flow to allow payment of creditors to maintain good working relationships current suppliers.	MEDIUM	The amount sitting in 90+ days relates to a longstanding dispute which is hoped to be resolved soon.	In Progress
Current Assets	Inventories	Jan-25	Dec-25	Road base stockpile worth \$148,724 purchased in August & September 2024 needs to be reconciled during the month when/if allocated to various works programs.	Management need to ensure measures are in place to accurately track stock movements during the month.	MEDIUM	Road base will be allocated to road projects in the coming months.	In Progress

Bluebush Village Business Unit Reporting for the period ended 31 December 2025

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	4,899,268	5,856,484	957,216
Other Revenue	0	0	0
	<u>4,899,268</u>	<u>5,856,484</u>	<u>957,216</u>
Expenditure			
Operational Costs	(2,974,605)	(3,390,382)	(415,778)
Depreciation	(1,160,365)	0	1,160,365
Interest Expenses	(508,400)	(345,876)	162,524
Other	(27,000)	(302)	26,698
	<u>(4,670,369)</u>	<u>(3,736,561)</u>	<u>933,808</u>
Non cash amounts excluded from operating activities	1,160,365	0	(1,160,365)
Amount attributable to operating activities	1,389,264	2,119,923	730,660
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	(676,219)	(676,219)	0
Amount attributable to financing activities	(676,219)	(676,219)	0
Surplus / (Deficit)	713,044	1,443,704	730,660

GRAPHICAL INFORMATION

Operating Revenue



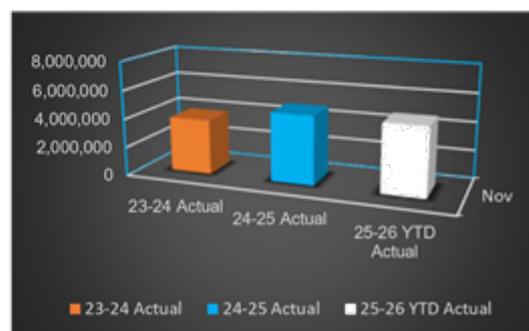
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



Waste Facilities Business Unit Reporting for the period ended 31 December 2025

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	704,250	763,732	59,482
Other Revenue	0	108	108
	<u>704,250</u>	<u>763,840</u>	<u>59,590</u>
Expenditure			
Operational Costs	(434,885)	(366,078)	68,807
Depreciation	(316,443)	(481,890)	(165,447)
Interest Expenses	(43,893)	(27,054)	16,839
Other	(16,287)	(20,935)	(4,648)
	<u>(811,509)</u>	<u>(895,957)</u>	<u>(84,449)</u>
Non cash amounts excluded from operating activities	316,443	481,890	165,447
Amount attributable to operating activities	209,184	349,772	140,588
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	0	0	0
Amount attributable to financing activities	0	0	0
Surplus / (Deficit)	209,184	349,772	140,588

GRAPHICAL INFORMATION

Operating Revenue



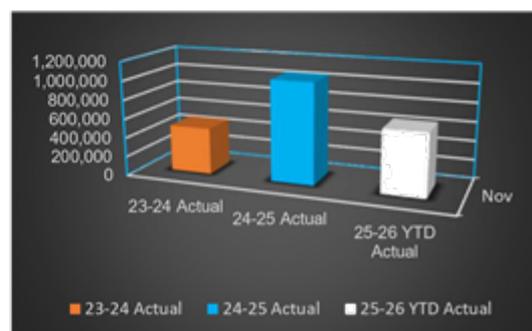
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



Kambalda Aerodrome Business Unit Reporting for the period ended 31 December 2025

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	828,200	779,280	(48,920)
Other Revenue	0	0	0
	<u>828,200</u>	<u>779,280</u>	<u>(48,920)</u>
Expenditure			
Operational Costs	(495,442)	(525,500)	(30,057)
Depreciation	0	0	0
Interest Expenses	(13,170)	(8,134)	5,036
Other	0	0	0
	<u>(508,612)</u>	<u>(533,633)</u>	<u>(25,021)</u>
Non cash amounts excluded from operating activities	0	0	0
Amount attributable to operating activities	319,588	245,647	(73,941)
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	0	0	0
Amount attributable to financing activities	0	0	0
Surplus / (Deficit)	319,588	245,647	(73,941)

GRAPHICAL INFORMATION

Operating Revenue



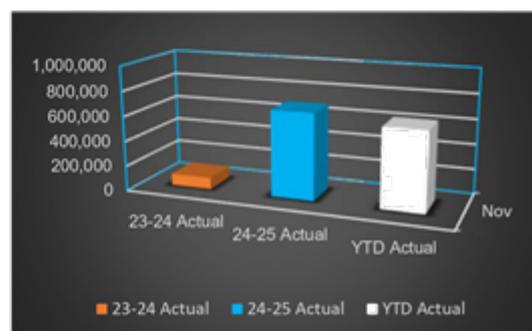
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



11.2.7 MONTHLY FINANCIAL STATEMENTS FOR THE MONTH ENDED 31 JANUARY 2026

Location: Shire of Coolgardie
Applicant: Shire of Coolgardie
Disclosure of Interest: Nil
Date: 17 February 2026
Author: Raj Subbiah, Finance Manager

SUMMARY

This report recommends that the Monthly Statement of Financial Activity report for the period ending 31 January 2026 is presented to Council for adoption.

BACKGROUND

In accordance with regulation 34 of the *Local Government (Financial Management) Regulations*, the Shire is to prepare a Monthly Financial Statement for approval by Council.

The format for monthly reporting was introduced by the Department of Local Government from 01 July 2005; the change was implemented to provide elected members with a better idea of operating and capital revenues and expenditures. The requirement is for a Statement of Financial Activity with a report detailing material variances. The Financial Report presented includes this as well as other statements and supplementary information.

Section 6.4 of the Local Government Act 1995 requires that financial reports be prepared and presented in the manner and form prescribed in the *Local Government (Financial Management) Regulations*. Regulation 34 has been amended to require that Councils report on the sources and applications of funds on a monthly basis and that the report be noted by Council.

COMMENT

Attached for consideration is the completed Monthly Financial Report.

The document includes Statements of Financial Activity by Program, and Nature and Type, notes to the financial statements, an explanation of material variance as well as a summary of bank account balances at 31 January 2026, loan repayments, and reserve account status.

In accordance with the *Local Government (Financial Management) Regulations*, a report must be compiled on variances greater than the percentage agreed by Council which is currently 10% or \$10,000. With the report prepared at program level, comments have been made regarding variances. A nil variance is equal to 100%, meaning that the year-to-date actual is identical to the year-to-date budget. Comments are therefore provided where variance values are <90% or >100% and the dollar variance exceeds \$10,000.

CONSULTATION

Nil

STATUTORY ENVIRONMENT

- *Local Government Act 1995 Section 6.4*
- *Local Government (Financial Management) Regulations 1996 Section 34*

34. Financial activity statement required each month (Act s. 6.4)

(1A) *In this regulation —*

committed assets means revenue unspent but set aside under the annual budget for a specific purpose.

(1) *A local government is to prepare each month a statement of financial activity reporting on the revenue and expenditure, as set out in the annual budget under regulation 22(1)(d), for that month in the following detail —*

(a) *annual budget estimates, taking into account any expenditure incurred for an additional purpose under section 6.8(1)(b) or (c); and*

(b) *budget estimates to the end of the month to which the statement relates; and*

(c) *actual amounts of expenditure, revenue and income to the end of the month to which the statement relates; and*

(d) *material variances between the comparable amounts referred to in paragraphs (b) and (c); and*

(e) *the net current assets at the end of the month to which the statement relates.*

(2) *Each statement of financial activity is to be accompanied by documents containing —*

(a) *an explanation of the composition of the net current assets of the month to which the statement relates, less committed assets and restricted assets; and*

(b) *an explanation of each of the material variances referred to in sub regulation (1)(d); and*

(c) *such other supporting information as is considered relevant by the local government.*

(3) *The information in a statement of financial activity may be shown —*

(a) *according to nature and type classification; or*

(b) *by program; or*

(c) *by business unit.*

(4) *A statement of financial activity, and the accompanying documents referred to in sub regulation (2), are to be —*

(a) *Presented at an ordinary meeting of the council within 2 months after the end of the month to which the statement relates; and*

(b) *Recorded in the minutes of the meeting at which it is presented.*

(5) *Each financial year, a local government is to adopt a percentage or value, calculated in accordance with the AAS, to be used in statements of financial activity for reporting material variances.*

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

The Financial Report is information only and there are no financial implications relating to this item.

STRATEGIC IMPLICATIONS**Accountable and effective leaders**

Demonstrating sound financial management and plans for the Shire's long term financial sustainability

High quality corporate governance, accountability and compliance

Ensuring the Shire of Coolgardie is well positioned to meet future needs

ATTACHMENTS

1. Monthly Financial Statements - January 2026
2. Management Report - January 2026
3. Major Trading Undertakings - January 2026

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION

That Council receive the Monthly Financial Activity Statement for the period 01 July 2025 to 31 January 2026.

COUNCIL RESOLUTION #24/2026

Moved: Cr Tammee Keast

Seconded: Cr Tracey Rathbone

That Council receive the Monthly Financial Activity Statement for the period 01 July 2025 to 31 January 2026.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0

SHIRE OF COOLGARDIE
MONTHLY FINANCIAL REPORT
(Containing the required statement of financial activity and statement of financial position)
For the period ended 31 January 2026
LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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SHIRE OF COOLGARDIE
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2026

Note	Amended Budget Estimates (a)	YTD Budget Estimates (b)	YTD Actual (c)	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var.
	\$	\$	\$	\$	%	
OPERATING ACTIVITIES						
Revenue from operating activities						
General rates	14,863,651	15,177,523	15,064,577	(112,946)	(0.74%)	
Grants, subsidies and contributions	2,353,700	1,286,477	926,450	(360,027)	(27.99%)	▼
Fees and charges	14,810,361	9,654,626	11,004,972	1,350,346	13.99%	▲
Interest revenue	211,600	168,327	256,794	88,467	52.56%	▲
Other revenue	371,371	198,300	182,804	(15,496)	(7.81%)	
Share of net profit of associates accounted for using the equity method	0	0	0	0	0.00%	
Fair value adjustments to financial assets at fair value through profit or loss	0	0	94,448	94,448	0.00%	
	32,610,683	26,485,253	27,530,045	1,044,792	3.94%	
Expenditure from operating activities						
Employee costs	(6,556,837)	(3,881,586)	(3,041,143)	840,443	21.65%	▲
Materials and contracts	(12,200,564)	(6,551,458)	(5,953,115)	598,343	9.13%	
Utility charges	(1,837,710)	(1,073,393)	(1,044,513)	28,880	2.69%	
Depreciation	(8,790,851)	(5,133,922)	(4,161,591)	972,331	18.94%	▲
Finance costs	(1,583,240)	(1,167,349)	(883,651)	283,698	24.30%	▲
Insurance	(613,000)	(613,000)	(569,843)	43,157	7.04%	
Other expenditure	(1,913,423)	(1,348,688)	(1,075,556)	273,132	20.25%	▲
	(33,495,625)	(19,769,396)	(16,729,412)	3,039,984	15.38%	
Non cash amounts excluded from operating activities	2(c) 8,840,851	5,133,922	4,085,143	(1,048,779)	(20.43%)	▼
Amount attributable to operating activities	7,955,909	11,849,779	14,885,776	3,035,997	25.62%	
INVESTING ACTIVITIES						
Inflows from investing activities						
Proceeds from capital grants, subsidies and contributions	5,865,534	3,692,510	539,755	(3,152,755)	(85.38%)	▼
	5,865,534	3,692,510	539,755	(3,152,755)	(85.38%)	
Outflows from investing activities						
Payments for property, plant and equipment	(898,716)	(788,334)	(642,553)	145,781	18.49%	▲
Payments for construction of infrastructure	(8,193,668)	(4,958,961)	(1,087,878)	3,871,083	78.06%	▲
	(9,092,384)	(5,747,295)	(1,730,431)	4,016,864	69.89%	
Amount attributable to investing activities	(3,226,850)	(2,054,785)	(1,190,676)	864,109	42.05%	
FINANCING ACTIVITIES						
Inflows from financing activities						
Proceeds from new borrowings	0	0	0	0	0.00%	
Transfer from reserves	0	0	0	0	0.00%	
	0	0	0	0	0.00%	
Outflows from financing activities						
Payments for principal portion of lease liabilities	(1,816,539)	(917,298)	(863,183)	54,115	5.90%	
Transfer to reserves	(359,600)	(5,600)	(6,123)	(523)	(9.34%)	
	(2,176,139)	(922,898)	(869,306)	53,592	5.81%	
Amount attributable to financing activities	(2,176,139)	(922,898)	(869,306)	53,592	5.81%	
MOVEMENT IN SURPLUS OR DEFICIT						
Surplus or deficit at the start of the financial year	2(a) (3,544,614)	(3,544,614)	(3,544,614)	0	0.00%	
Amount attributable to operating activities	7,955,909	11,849,779	14,885,776	3,035,997	25.62%	▲
Amount attributable to investing activities	(3,226,850)	(2,054,785)	(1,190,676)	864,109	42.05%	▲
Amount attributable to financing activities	(2,176,139)	(922,898)	(869,306)	53,592	5.81%	▲
Surplus or deficit after imposition of general rates	(991,694)	5,327,482	9,281,180	3,953,698	74.21%	▲

KEY INFORMATION

▲▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data outside the adopted materiality threshold.

▲ Indicates a variance with a positive impact on the financial position.

▼ Indicates a variance with a negative impact on the financial position.

Refer to Note 3 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying notes.

**SHIRE OF COOLGARDIE
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 JANUARY 2026**

	Actual 30 June 2025	Actual as at 31 January 2026
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	3,663,724	12,764,835
Trade and other receivables	2,535,152	3,501,674
Other financial assets	257,825	263,949
Inventories	156,263	156,558
Other assets	19,302	30,897
TOTAL CURRENT ASSETS	6,632,266	16,717,913
NON-CURRENT ASSETS		
Trade and other receivables	264,610	246,610
Other financial assets	99,525	193,972
Property, plant and equipment	37,945,264	37,773,549
Infrastructure	113,181,807	111,104,616
Right-of-use assets	4,850,265	4,668,010
Investment property	17,290,000	17,290,000
TOTAL NON-CURRENT ASSETS	173,631,471	171,276,757
TOTAL ASSETS	180,263,737	187,994,670
CURRENT LIABILITIES		
Trade and other payables	5,357,321	2,523,256
Other liabilities	2,089,524	2,297,674
Lease liabilities	1,816,537	953,354
Bank Overdraft	0	0
Employee related provisions	432,031	432,031
Other provisions	2,040,179	1,919,824
TOTAL CURRENT LIABILITIES	11,735,592	8,126,139
NON-CURRENT LIABILITIES		
Lease liabilities	249,474	249,474
Borrowings	25,463,497	25,463,497
Employee related provisions	114,684	114,684
Other provisions	4,484,467	4,484,467
TOTAL NON-CURRENT LIABILITIES	30,312,122	30,312,122
TOTAL LIABILITIES	42,047,714	38,438,261
NET ASSETS	138,216,023	149,556,409
EQUITY		
Retained surplus	47,021,443	58,355,706
Reserve accounts	257,825	263,948
Revaluation surplus	90,936,755	90,936,755
TOTAL EQUITY	138,216,023	149,556,409

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF COOLGARDIE
 NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 FOR THE PERIOD ENDED 31 JANUARY 2026

1 BASIS OF PREPARATION AND MATERIAL ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supplementary information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 20 January 2026

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

MATERIAL ACCOUNTING POLICIES

Material accounting policies utilised in the preparation of these statements are as described within the 2024-25 Annual Budget. Please refer to the adopted budget document for details of these policies.

Critical accounting estimates and judgements

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

As with all estimates, the use of different assumptions could lead to material changes in the amounts reported in the financial report.

The following are estimates and assumptions that have a significant risk of causing a material adjustment to the carrying amounts of assets and liabilities within the next financial year and further information on their nature and impact can be found in the relevant note:

- Fair value measurement of assets carried at reportable value including:
 - Property, plant and equipment
 - Infrastructure
- Impairment losses of non-financial assets
- Expected credit losses on financial assets
- Assets held for sale
- Investment property
- Estimated useful life of intangible assets
- Measurement of employee benefits
- Measurement of provisions
- Estimation uncertainties and judgements made in relation to lease

SHIRE OF COOLGARDIE
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2026

2 NET CURRENT ASSETS INFORMATION

	Note	Amended Budget Opening 1 July 2025	Actual as at 30 June 2025	Actual as at 31 January 2026
(a) Net current assets used in the Statement of Financial Activity				
Current assets		\$	\$	\$
Cash and cash equivalents		3,921,549	3,663,724	12,764,835
Trade and other receivables		2,535,152	2,535,152	3,501,674
Other financial assets		0	257,825	263,949
Inventories		156,263	156,263	156,558
Other assets		19,302	19,302	30,897
		6,632,266	6,632,266	16,717,913
Less: current liabilities				
Trade and other payables		(5,357,321)	(5,357,321)	(2,523,256)
Contract Liabilities		(2,089,524)	(2,089,524)	(2,297,674)
Lease liabilities		(1,816,537)	(1,816,537)	(953,354)
Bank Overdraft		0	0	0
Employee related provisions		(432,031)	(432,031)	(432,031)
Other provisions		(2,040,179)	(2,040,179)	(1,919,824)
		(11,735,592)	(11,735,592)	(8,126,139)
Net current assets		(5,103,326)	(5,103,326)	8,591,774
Less: Total adjustments to net current assets	2(b)	1,558,712	1,558,712	689,406
Closing funding surplus / (deficit)		(3,544,614)	(3,544,614)	9,281,180
(b) Current assets and liabilities excluded from budgeted deficiency				
Adjustments to net current assets				
Less: Reserve accounts		(257,825)	(257,825)	(263,948)
Add: Current liabilities not expected to be cleared at the end of the year				
- Current portion of lease liabilities		1,816,537	1,816,537	953,354
Total adjustments to net current assets	2(a)	1,558,712	1,558,712	689,406
(c) Non-cash amounts excluded from operating activities				
		Amended Budget Estimates 30 June 2026	YTD Budget Estimates 31 January 2026	YTD Actual 31 January 2026
Adjustments to operating activities		\$	\$	\$
Less: Fair value adjustments to financial assets at fair value through profit or loss		0	0	(94,448)
Add: Depreciation		8,790,851	5,133,922	4,161,591
Movement in current employee provisions associated with restricted cash		50,000	0	0
Non-cash movements in non-current assets and liabilities:				
- Trade Receivables		0	0	18,000
Total non-cash amounts excluded from operating activities		8,840,851	5,133,922	4,085,143

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the local governments' operational cycle.

SHIRE OF COOLGARDIE
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2026

3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2025-26 year is \$10,000 and 10.00% whichever is the greater.

Description	Var. \$	Var. %	
	\$	%	
Revenue from operating activities			
Grants, subsidies and contributions	(360,027)	(27.99%)	▼
CDC Support Hub			
Fees and charges	1,350,346	13.99%	▲
Bluebush Village \$1,312, Other \$38k)			
Interest revenue	88,467	52.56%	▲
Interest on Term Deposits			
Employee costs	840,443	21.65%	▲
Not all budgeted positions filled to date			
Utility charges	0	0.00%	
Bluebush Village Utility costs			
Depreciation	972,331	18.94%	▲
ROU Asset classed as Investment Property therefore not depreciated			
Finance costs	283,698	24.30%	▲
2024-25 Interest Accrual (costs included in 25/26 budget)			
Insurance	43,157	7.04%	
Insurance premiums less than budgeted			
Other expenditure	273,132	20.25%	▲
Governance & Elected Member Costs \$102k, Rates Recovery Costs \$112k, Coolgardie Visitor Centre \$30k & Other \$29k			
Non cash amounts excluded from operating activities	(1,048,779)	(20.43%)	▼
Depreciation costs highlighted above			
Inflows from investing activities			
Proceeds from capital grants, subsidies and contributions	(3,152,755)	(85.38%)	▼
RRG & RTR Road funding due to projects only just commencing			
Outflows from investing activities			
Payments for property, plant and equipment	145,781	18.49%	▲
Plant Replacement Program			
Payments for construction of infrastructure	3,871,083	78.06%	▲
Road Renewal Program			
Surplus or deficit after imposition of general rates	3,953,698	74.21%	▲
As per the above explanations			

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
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BASIS OF PREPARATION - SUPPLEMENTARY INFORMATION

Supplementary information is presented for information purposes. The information does not comply with the disclosure requirements of the Australian Accounting Standards.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

1 KEY INFORMATION

Funding Surplus or Deficit Components

Funding surplus / (deficit)				
	Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	(\$3.54 M)	(\$3.54 M)	(\$3.54 M)	\$0.00 M
Closing	(\$0.99 M)	\$5.33 M	\$9.28 M	\$3.95 M

Refer to Statement of Financial Activity

Cash and cash equivalents		
	\$13.03 M	% of total
Unrestricted Cash	\$10.29 M	78.9%
Restricted Cash	\$2.74 M	21.1%

Refer to 3 - Cash and Financial Assets

Payables	
	\$2.52 M
Trade Payables	\$1.91 M
0 to 30 Days	82.3%
Over 30 Days	17.7%
Over 90 Days	15.5%

Refer to 8 - Payables

Receivables		
	\$1.47 M	% Collected
Rates Receivable	\$2.03 M	87.3%
Trade Receivable	\$1.47 M	% Outstanding
Over 30 Days		17.0%
Over 90 Days		5.4%

Refer to 6 - Receivables

Key Operating Activities

Amount attributable to operating activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$7.96 M	\$11.85 M	\$14.89 M	\$3.04 M

Refer to Statement of Financial Activity

Rates Revenue		
YTD Actual	\$15.06 M	% Variance
YTD Budget	\$15.18 M	(0.7%)

Grants and Contributions		
YTD Actual	\$0.93 M	% Variance
YTD Budget	\$1.29 M	(28.0%)

Refer to 12 - Grants and Contributions

Fees and Charges		
YTD Actual	\$11.00 M	% Variance
YTD Budget	\$9.65 M	14.0%

Refer to Statement of Financial Activity

Key Investing Activities

Amount attributable to investing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$2.23 M)	(\$2.05 M)	(\$1.19 M)	\$0.86 M

Refer to Statement of Financial Activity

Proceeds on sale		
YTD Actual	\$0.00 M	%
Amended Budget	\$0.00 M	

Asset Acquisition		
YTD Actual	\$1.09 M	% Spent
Amended Budget	\$8.19 M	(86.7%)

Refer to 5 - Capital Acquisitions

Capital Grants		
YTD Actual	\$0.54 M	% Received
Amended Budget	\$5.87 M	(90.8%)

Refer to 5 - Capital Acquisitions

Key Financing Activities

Amount attributable to financing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$2.18 M)	(\$0.92 M)	(\$0.87 M)	\$0.05 M

Refer to Statement of Financial Activity

Borrowings	
	\$0.00 M
Principal repayments	\$0.00 M
Interest expense	(\$0.86 M)
Principal due	\$25.46 M

Refer to 9 - Borrowings

Reserves	
	\$0.26 M
Reserves balance	\$0.26 M
Net Movement	\$0.01 M

Refer to 4 - Cash Reserves

Lease Liability	
	(\$0.86 M)
Principal repayments	(\$0.86 M)
Interest expense	(\$0.02 M)
Principal due	\$1.20 M

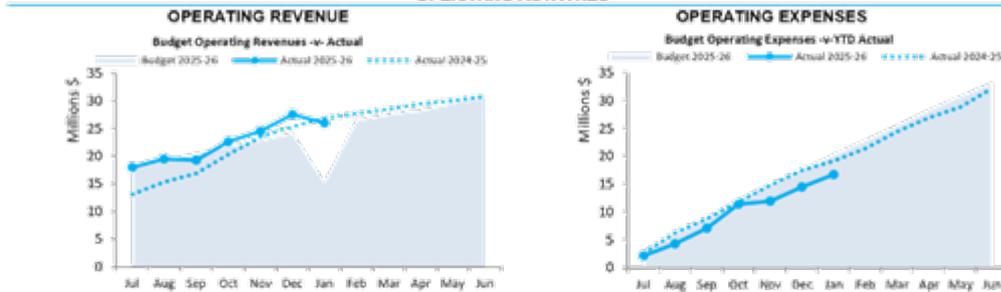
Refer to Note 10 - Lease Liabilities

This information is to be read in conjunction with the accompanying Financial Statements and notes.

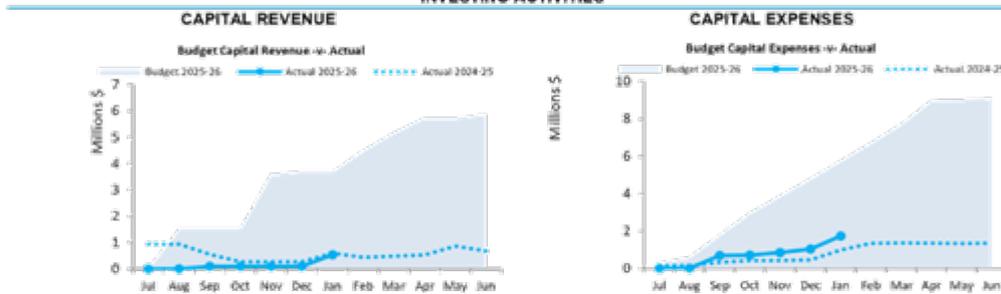
SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 JANUARY 2026

2 KEY INFORMATION - GRAPHICAL

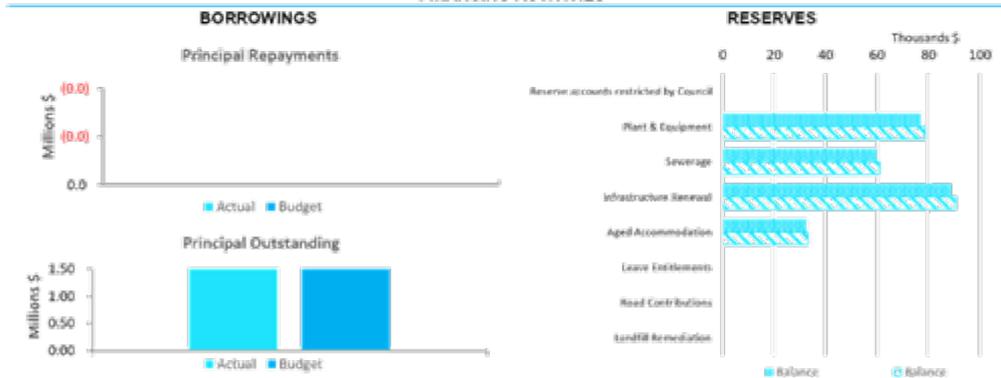
OPERATING ACTIVITIES



INVESTING ACTIVITIES



FINANCING ACTIVITIES



Closing funding surplus / (deficit)



This information is to be read in conjunction with the accompanying Financial Statements and Notes.

SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 JANUARY 2026

3 CASH AND FINANCIAL ASSETS AT AMORTISED COST

Description	Classification	Unrestricted	Restricted	Total	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	\$	\$			
CBA Municipal Cash at Bank / Overdraft Facility - GEN	Cash and cash equivalents	3,352,866	0	3,352,866	0	CBA	N/A	N/A
Municipal Cash at Bank	Cash and cash equivalents	328,314	0	328,314	0	ANZ	Variable	N/A
Cash On Hand	Cash and cash equivalents	840	0	840	0	ANZ	N/A	N/A
CBA - Term Deposit Reserves	Financial assets at amortised cost	0	263,948	263,948	0	CBA	4.28%	27/04/2026
CBA Muni Restricted Cash at Bank	Cash and cash equivalents	12,802	0	12,802	0	CBA	Variable	N/A
CBA - Short Term Deposit Road Funding	Cash and cash equivalents	0	663,472	663,472	0	CBA	3.83%	23/02/2026
CBA Trust Cash at Bank	Cash and cash equivalents	0	182,150	182,150	0	CBA	N/A	N/A
CBA - Short Term Deposit 02	Cash and cash equivalents	1,515,062	0	1,515,062	0	CBA	4.09%	2/02/2026
CBA - Short Term Deposit 03	Cash and cash equivalents	1,520,500	0	1,520,500	0	CBA	3.82%	9/02/2026
CBA - Short Term Deposit 04	Cash and cash equivalents	3,029,414	0	3,029,414	0	CBA	4.08%	10/02/2026
Unspent Grants Term Deposit	Cash and cash equivalents	525,213	1,634,202	2,159,415	0	CBA	0.25%	At Call
Total		10,285,011	2,743,772	13,028,783	0			
Comprising								
Cash and cash equivalents		10,285,011	2,479,824	12,764,835	0			
Cash and cash equivalents		0	263,948	263,948	0			
		10,285,011	2,743,772	13,028,783	0			

KEY INFORMATION

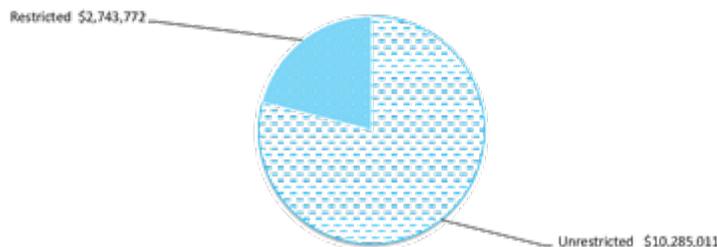
Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value.

Bank overdrafts are reported in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 7 - Other assets.



SHIRE OF COOLGARDIE
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 JANUARY 2026

4 RESERVE ACCOUNTS

Reserve account name	Budget				Actual			
	Opening Balance	Transfers In (+)	Transfers Out (-)	Closing Balance	Opening Balance	Transfers In (+)	Transfers Out (-)	Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$
Reserve accounts restricted by Council								
Plant & Equipment	76,901	52,863	0	129,764	76,901	1,827	0	78,728
Sewerage	59,725	82,224	0	141,949	59,725	1,419	0	61,144
Infrastructure Renewal	88,677	53,302	0	141,979	88,677	2,104	0	90,781
Aged Accommodation	32,522	31,211	0	63,733	32,522	773	0	33,295
Leave Entitlements	0	50,000	0	50,000	0	0	0	0
Road Contributions	0	40,000	0	40,000	0	0	0	0
Landfill Remediation	0	50,000	0	50,000	0	0	0	0
	257,825	359,600	0	617,425	257,825	6,123	0	263,948

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS

Capital acquisitions	Amended		YTD Actual	YTD Variance
	Budget	YTD Budget		
	\$	\$	\$	\$
Buildings - specialised	695,000	607,000	635,685	(28,685)
Furniture and equipment	53,716	31,334	6,233	25,101
Plant and equipment	150,000	150,000	635	149,365
Acquisition of property, plant and equipment	898,716	788,334	642,553	145,781
Infrastructure - Roads	7,043,668	4,375,211	1,014,208	3,361,003
Infrastructure - Footpaths	230,000	20,000	0	20,000
Infrastructure - Drainage	200,000	0	0	0
Infrastructure - Sewerage	75,000	75,000	0	75,000
Infrastructure - Parks & Ovals	75,000	18,750	0	18,750
Infrastructure - Other Infrastructure	570,000	470,000	73,670	396,330
Acquisition of infrastructure	8,193,668	4,958,961	1,087,878	3,871,083
Total of PPE and Infrastructure.	9,092,384	5,747,295	1,730,431	(4,016,864)
Total capital acquisitions	9,092,384	5,747,295	1,730,431	4,016,864
Capital Acquisitions Funded By:				
Capital grants and contributions	5,865,534	3,692,510	539,755	3,152,755
Contribution - operations	3,226,850	9,439,805	1,190,676	(8,249,129)
Capital funding total	9,092,384	13,132,315	1,730,431	(5,096,374)

KEY INFORMATION

Initial recognition

An item of property, plant and equipment or infrastructure that qualifies for recognition as an asset is measured at its cost.

Upon initial recognition, cost is determined as the amount paid (or other consideration given) to acquire the assets, plus costs incidental to the acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Local Government (Financial Management) Regulation 17A(5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

Individual assets that are land, buildings and infrastructure acquired between scheduled revaluation dates of the asset class in accordance with the Shire's revaluation policy, are recognised at cost and disclosed as being at reportable value.

Measurement after recognition

Plant and equipment including furniture and equipment and right-of-use assets (other than vested improvements) are measured using the cost model as required under *Local Government (Financial Management) Regulation 17A(2)*. Assets held under the cost model are carried at cost less accumulated depreciation and any impairment losses being their reportable value.

Reportable Value

In accordance with *Local Government (Financial Management) Regulation 17A(2)*, the carrying amount of non-financial assets that are land and buildings classified as property, plant and equipment, investment properties, infrastructure or vested improvements that the local government controls.

Reportable value is for the purpose of *Local Government (Financial Management) Regulation 17A(4)* is the fair value of the asset at its last valuation date minus (to the extent applicable) the accumulated depreciation and any accumulated impairment losses in respect of the non-financial asset subsequent to its last valuation date.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS (CONTINUED) - DETAILED

Account Description	Amended		YTD Actual	Variance Under/ (Over)
	Budget	YTD Budget		
Non Specialised Buildings				
Nil	0	0	0	0
Total Non Specialised Buildings	0	0	0	0
Specialised Buildings				
▣ C13179 Kambalda Youth Facility	100,000	60,000	0	60,000
▣ C13122A 11 Goodenia Court - Construction Of 3 Units	475,000	475,000	596,614	(121,614)
▣ C11073 Korf Building Upgrades And Renewals	20,000	12,000	0	12,000
▣ C11150 Kambalda Recreation Centre - Stadium Floor	30,000	18,000	39,071	(21,071)
▣ C11032 Coolgardie Recreation Centre	50,000	30,000	0	30,000
▣ C13039 Coolgardie Cultural & Community Hub	20,000	12,000	0	12,000
Total Specialised Buildings	695,000	607,000	635,685	(28,685)
Furniture & Equipment				
▣ C04003 It Upgrades And Replacements	53,716	31,334	6,233	25,101
Total Furniture & Equipment	53,716	31,334	6,233	25,101
Plant & Equipment				
▣ C13078 Small Plant Purchases	30,000	30,000	635	29,365
▣ C12065 Parks & Gardens Truck	120,000	120,000	0	120,000
Total Plant & Equipment	150,000	150,000	635	149,365
Roads				
▣ R002 Coolgardie North Road Construction	312,000	195,000	0	195,000
▣ R153 Bayley Street	25,000	0	0	0
▣ RRG002A 23-24 Rrg Coolgardie North Rd - Slk 14.90 To Slk 17.10	1,279,811	799,882	0	799,882
▣ RRG002B 24-25 Rrg Coolgardie North Rd - Slk 10.91 To 11.51	188,145	117,591	0	117,591
▣ RRG002C 24-25 Rrg Coolgardie North Rd - Slk 18.10 To 26.90	477,084	298,178	0	298,178
▣ RRG002D 24-25 Rrg Coolgardie North Rd - Slk 13.40 To 17.50	314,472	196,545	0	196,545
▣ RRG002E 25-26 Rrg Coolgardie North Rd - Slk 6.35 To 9.76	285,000	178,125	0	178,125
▣ RRG002F 25-26 Rrg Coolgardie North Rd - Slk 22.20 To 26.90	600,000	375,000	0	375,000
▣ RRG004A 25-26 Rrg Nepean Rd - Slk 1.90 To 4.30	270,000	168,750	0	168,750
▣ RRG005B 25-26 Rrg Victoria Rock Rd - Slk 0.75 To 1.75	150,000	93,750	0	93,750
▣ RRG005A 24-25 Rrg Victoria Rock Rd - Slk 0.15 To 0.75	255,341	159,588	0	159,588
▣ RRG052 Regional Road Group - Jaurdi Hills Road	345,000	215,625	344,027	(128,402)
▣ RTRCOOL Rtr Coolgardie Projects - Budget Purposes Only	418,484	261,553	0	261,553
▣ RTRKAM Rtr Kambalda Projects - Budget Purposes Only	425,331	265,832	0	265,832
▣ FD001 Flood Damage General	275,000	160,417	123,266	37,151
▣ FD001A Flood Damage - Coolgardie N Road	0	0	11,880	(11,880)
▣ R039 Durkin Road Construction	168,000	105,000	0	105,000
▣ R053 Ladyloch Road Construction	1,000,000	625,000	535,035	89,965
▣ RTR022B Rtr - Lefroy Street (Bayley To Sylvester) Slk 0.00 To 0.11	60,000	37,500	0	37,500
▣ RTR022C Rtr Lefroy Street (Woodward To Bayley) - Slk 0.00 To 0.07	45,000	28,125	0	28,125
▣ RTR034A Ford Street (Woodward To Bayley Street) Slk 0.00 To 0.12	150,000	93,750	0	93,750
Total Roads	7,043,668	4,375,211	1,014,208	3,361,003
Footpaths				
▣ RF002 Footpath Renewal - Coolgardie	100,000	20,000	0	20,000
▣ RF003 Footpath Renewal - Kambalda	130,000	0	0	0
Total Footpaths	230,000	20,000	0	20,000
Drainage				
▣ RD200 Drainage Renewal - Coolgardie	75,000	0	0	0
▣ RD100 Drainage Renewal - Kambalda	125,000	0	0	0
Total Drainage	200,000	0	0	0
Sewerage				

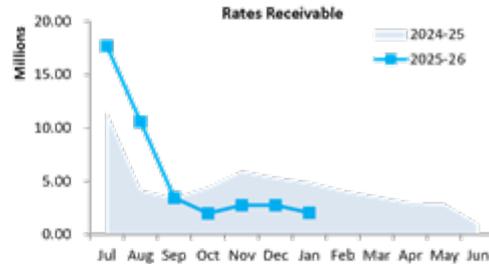
▣ C10007	Coolgardie Sewerage - Water Re-Use System	75,000	75,000	0	75,000
▣	Total Sewerage	75,000	75,000	0	75,000
Parks & Gardens					
▣ PO100	Park Infrastructure Renewal - Kambalda	37,500	9,375	0	9,375
▣ PO200	Park Infrastructure Renewal - Coolgardie	37,500	9,375	0	9,375
▣	Total Parks & Gardens	75,000	18,750	0	18,750
Other Infrastructure					
▣ C13143	Kambalda Dog Pound	50,000	50,000	0	50,000
▣ C13178	Coolgardie Park Lighting	60,000	60,000	0	60,000
▣ C11104	Coolgardie Satellite Television Broadcasting Service	30,000	30,000	20,699	9,301
▣ C13180	Cool Truck Bay Bund Wall	80,000	80,000	34,371	45,629
▣ RS004	Kambalda Refuse Site	100,000	0	0	0
▣ C1015	Coolgardie Tip - New Cell	250,000	250,000	18,600	231,400
▣	Total Other Infrastructure	570,000	470,000	73,670	396,330
Investment Property					
	Nil	0	0	0	0
	Total Investment Property	0	0	0	0
▣	TOTAL CAPITAL EXPENDITURE	9,092,384	5,747,295	1,730,431	4,016,864

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

OPERATING ACTIVITIES

6 RECEIVABLES

Rates receivable	30 June 2025	31 Jan 2026
	\$	\$
Opening arrears previous year	874,878	1,065,203
Levied this year	12,711,267	15,064,577
Less - collections to date	(12,520,942)	(14,076,911)
Gross rates collectable	1,065,203	2,052,869
Allowance for impairment of rates receivable	(56,402)	(21,402)
Net rates collectable	1,008,801	2,031,467
% Collected	92.2%	87.3%



Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(1)	1,046,182	26,177	119,668	68,240	1,260,266
Percentage	0.0%	83.0%	2.1%	9.5%	5.4%	
Balance per trial balance						
Trade receivables						1,260,266
Other receivables						7,500
GST receivable						191,728
Pensioner Rebates						10,713
Total receivables general outstanding						1,470,207

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

OPERATING ACTIVITIES

7 OTHER CURRENT ASSETS

Other current assets	Opening Balance 1 July 2025	Asset Increase	Asset Reduction	Closing Balance 31 January 2026
	\$	\$	\$	\$
Other financial assets at amortised cost				
Term Deposit Reserves	257,825	6,124	0	263,949
Inventory				
Visitor Centre Stock	7,539	295	0	7,834
Gravel Basecourse	148,724	0	0	148,724
Other assets				
Accrued income	19,302	11,595	0	30,897
Total other current assets	433,390	18,014	0	451,404
Amounts shown above include GST (where applicable)				

KEY INFORMATION

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

**SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026**

OPERATING ACTIVITIES

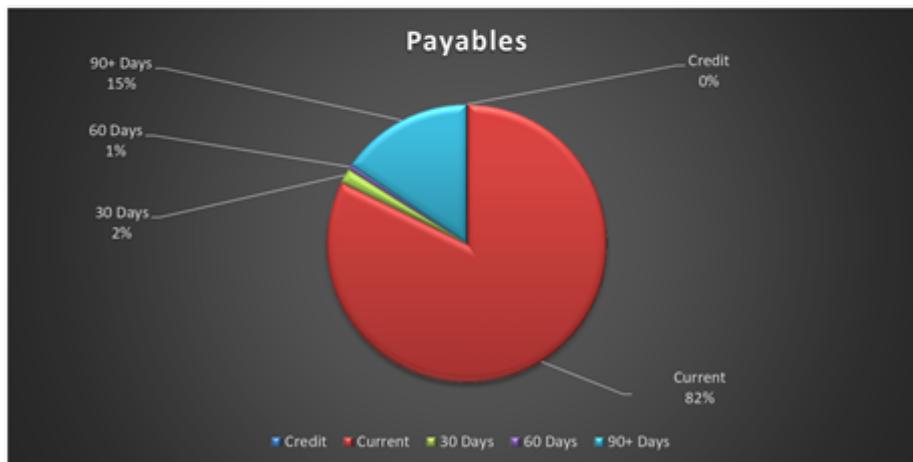
8 PAYABLES

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	1,569,533	31,671	10,244	295,049	1,906,497
Percentage	0.00%	82.30%	1.70%	0.50%	15.50%	
Balance per trial balance						
Sundry creditors						1,906,495
Accrued salaries and wages						11,296
ATO liabilities						150,334
Prepaid Rates						161,202
ESL Levy						104,818
Bonds & Deposits						187,863
Accrued Expenses						1,248
Total payables general outstanding						2,523,256

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

FINANCING ACTIVITIES

9 BORROWINGS

Repayments - borrowings

Information on borrowings Particulars	Institution	Loan No.	New Loans			Principal Repayments		Principal Outstanding		Interest Repayments	
			1 July 2025	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
			\$	\$	\$	\$	\$	\$	\$	\$	\$
Bluebush Village - Stage 1 Buildings (CBA Refinanced)	CBA	125	7,287,029	0	0	0	0	7,287,029	7,287,029	(59,099)	(390,484)
Bluebush Village - Stage 2 Construction (CBA Refinanced)	CBA	125	1,834,724	0	0	0	0	1,834,724	1,834,724	(66,744)	(98,316)
Bluebush Village - Stage 1 Executive Rooms (CBA Refinanced)	CBA	125	316,757	0	0	0	0	316,757	316,757	(226,770)	(17,157)
Goodenia Court Units (CBA Refinanced)	CBA	125	847,827	0	0	0	0	847,827	847,827	(26,296)	(45,248)
Coolgardie Aquatic Facilities (CBA Refinanced)	CBA	125	77,782	0	0	0	0	77,782	77,782	(7,071)	(4,168)
Kambalda Aquatic Facilities (CBA Refinanced)	CBA	125	1,085,793	0	0	0	0	1,085,793	1,085,793	(33,774)	(58,183)
Kambalda Aquatic Facilities (CBA Refinanced)	CBA	125	368,687	0	0	0	0	368,687	368,687	(11,459)	(19,757)
Coolgardie Post Office (CBA Refinanced)	CBA	125	332,758	0	0	0	0	332,758	332,758	(6,077)	(17,831)
CBA Overdraft Facility (CBA Refinanced)	CBA	125	812,140	0	0	0	0	812,140	812,140	(23,930)	(41,106)
Bluebush Village - Stage 1 Construction (ANZ Refinanced)	CBA	126	4,646,000	0	0	0	0	4,646,000	4,646,000	(149,633)	(278,760)
Coolgardie Class III Waste Facility (ANZ Refinanced)	CBA	126	1,463,100	0	0	0	0	1,463,100	1,463,100	(47,102)	(87,786)
Kambalda Aerodrome Refurbishment (ANZ Refinanced)	CBA	126	439,000	0	0	0	0	439,000	439,000	(14,165)	(26,340)
Bluebush Village - Stage 2 Construction (ANZ Refinanced)	CBA	126	1,874,995	0	0	0	0	1,874,995	1,874,995	(60,398)	(112,500)
Cashflow Assistance	CBA	126	4,076,905	0	0	0	0	4,076,905	4,076,905	(131,281)	(244,614)
Overdraft Facility	CBA	N/A	0	0	0	0	0	0	0	0	(27,500)
Total			25,463,497	0	0	0	0	25,463,497	25,463,497	(863,799)	(1,469,750)
Current borrowings			0					0			
Non-current borrowings			25,463,497					25,463,497			
			25,463,497					25,463,497			

Bank overdrafts and bank loans are secured by a floating charge over the rates of the Shire of Coolgardie.

KEY INFORMATION

The Shire has elected to recognise borrowing costs as an expense when incurred regardless of how the borrowings are applied.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

FINANCING ACTIVITIES

10 LEASE LIABILITIES

Movement in carrying amounts

Information on leases Particulars	Lease No.	New Leases			Principal Repayments		Principal Outstanding		Interest Repayments	
		1 July 2025	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Hino 700 Series (P351)	6320171	66,576	0	0	(12,494)	(66,576)	54,082	0	(839)	(260)
Hino 700 Series (P355)	6344997	66,169	0	0	(9,829)	(66,169)	56,340	0	(917)	(1,142)
BENQ Whiteboards	2073290	10,714	0	0	(6,754)	(10,714)	3,960	0	(382)	(328)
Meraki IT Equipment	190006130	18,163	0	0	(8,188)	(14,164)	9,975	3,999	(359)	(469)
TechnoGym - Kambalda Gym 1	147-0106194-002	44,650	0	0	(13,458)	(27,761)	31,192	16,889	(1,483)	(2,137)
TechnoGym - Kambalda Gym 2	187-1185-187-003	20,726	0	0	(8,658)	(10,816)	12,068	9,910	(1,109)	(1,653)
TechnoGym - Coolgardie Gym	187-1185-187-002	41,837	0	0	(6,070)	(10,634)	35,767	31,203	(1,165)	(1,923)
Vestone - Loader	COO01052022-YG-01	150,998	0	0	(45,997)	(80,034)	105,001	70,964	(5,146)	(7,642)
Vestone - Compactor	COO01052022-YG-01	247,907	0	0	(75,516)	(131,399)	172,391	116,508	(8,452)	(12,547)
Vestone - Kambalda 120 Person Camp	CAS-109046-NOW	1,398,271	0	0	(676,219)	(1,398,272)	722,052	(1)	0	(85,349)
Total		2,066,011	0	0	(863,183)	(1,816,539)	1,202,828	249,472	(19,852)	(113,490)
Current lease liabilities		1,816,537					953,354			
Non-current lease liabilities		249,474					249,474			
		2,066,011					1,202,828			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is or contains a lease, if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

OPERATING ACTIVITIES

11 OTHER CURRENT LIABILITIES

	Note	Opening Balance 1 July 2025	Liability transferred from/(to) non current	Liability Increase	Liability Reduction	Closing Balance 31 January 2026
		\$	\$	\$	\$	\$
Other current liabilities						
Other liabilities						
Contract liabilities		10,000	0	8,000	(8,000)	10,000
Capital grant/contributions liabilities		2,079,524	0	798,320	(590,170)	2,287,674
Total other liabilities		2,089,524	0	806,320	(598,170)	2,297,674
Employee Related Provisions						
Provision for annual leave		267,086	0	0	0	267,086
Provision for long service leave		164,945	0	0	0	164,945
Total Provisions		432,031	0	0	0	432,031
Other Provisions						
Casair Dispute		200,793	0	0	(120,355)	80,438
Provision for Rates Disputes		1,839,386	0	0	0	1,839,386
Total Other Provisions		2,040,179	0	0	(120,355)	1,919,824
Total other current liabilities		4,561,734	0	806,320	(718,525)	4,649,529

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movements is provided on the following pages at Note 12 and 13

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured. Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

OPERATING ACTIVITIES

12 GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue		
	Liability 1 July 2025	Increase in Liability	Decrease in Liability (As revenue)	Liability 31 Jan 2026	Current Liability 31 Jan 2026	Amended Budget Revenue	YTD Budget	YTD Revenue Actual
	\$	\$	\$	\$	\$	\$	\$	
Grants and subsidies								
General Purpose Funding								
Financial Assistance Grants - General Purpose	0	0	0	0	0	294,245	147,123	138,920
Governance								
Australia Day	0	8,000	0	8,000	8,000	0	0	8,000
Law, Order & Public Safety								
DFES - Bushfire Grant	0	0	0	0	0	12,790	10,593	10,593
Education & Welfare								
Kambalda Community Resource Centre	0	0	0	0	0	132,558	78,575	98,131
Kambalda Recreation Centre	0	0	0	0	0	9,300	5,425	5,435
Coolgardie Community Resource Centre	0	0	0	0	0	127,201	75,451	99,075
Kambalda Community Resource Centre								0
Recreation & Culture								
Youth Services Grant	0	0	0	0	0	10,000	10,000	0
Transport								
Main Roads - Direct Grant	0	0	0	0	0	194,516	194,516	194,516
Financial Assistance Grants - Roads	0	0	0	0	0	344,590	172,295	174,797
Economic Services								
CDC Support Hub	0	0	0	0	0	360,000	0	0
	0	8,000	0	8,000	8,000	1,485,200	693,978	729,467
Contributions								
General Purpose Funding								
Governance								
Donations	0	0	0	0	0	2,000	1,000	5,455
Donations	0	0	0	0	0	0	0	945
Health								
Goldfields - Womens Health Care	0	0	0	0	0	35,000	35,000	0
Education & Welfare								
Goldfields - Meals on Meals	0	0	0	0	0	50,000	25,000	45,455
Community Amenities								
Sewerage Contributions	0	0	0	0	0	0	0	109,091
Sewerage Contributions	0	0	0	0	0	0	0	1,818
Transport								
Mining Contributions	0	0	0	0	0	0	0	0
Mining Haulage Funds	0	0	0	0	0	780,000	530,000	34,219
Economic Services								
Donations	0	0	0	0	0	1,500	1,500	0
Recreation & Culture								
Evolution - Youth Futures Lifeguard Program	10,000	0	0	10,000	10,000	0	0	0
	10,000	0	0	10,000	10,000	868,500	592,500	196,983
TOTALS	10,000	8,000	0	18,000	18,000	2,353,700	1,286,477	926,450

SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026

INVESTING ACTIVITIES

13 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Capital grant/contribution liabilities					Capital grants, subsidies and contributions revenue		
	Liability 1 July 2025	Increase in Liability	Decrease in Liability (As revenue)	Liability 31 Jan 2026	Current Liability 31 Jan 2026	Amended Budget Revenue	YTD Budget	YTD Revenue Actual
	\$	\$	\$	\$	\$	\$	\$	\$
Capital grants and subsidies								
Recreation and Culture								
Kambalda Youth Centre Facility	0	0	0	0	0	100,000	100,000	0
Transport								
Main Roads - Heavy Vehicle Safety & Productivity Program	0	0	0	0	0	1,239,986	302,386	447,986
Main Roads - Regional Road Group	1,011,910	650,363	(91,769)	1,570,504	1,570,504	2,776,569	2,221,145	91,769
Main Roads - Black Spot	280,000	0	(280,000)	0	0	1,068,979	1,068,979	0
Department of Infrastructure - Roads to Recovery	55,101	0	0	55,101	55,101	0	0	0
LRCI - Phase 4 Roads	218,401	0	(218,401)	0	0	0	0	0
	1,565,412	650,363	(590,170)	1,625,605	1,625,605	5,185,534	3,692,510	539,755
Capital contributions								
General Purpose Funding								
Transport								
Road Haulage Funds	514,112	147,957	0	662,069	662,069	680,000	0	0
	514,112	147,957	0	662,069	662,069	680,000	0	0
TOTALS	2,079,524	798,320	(590,170)	2,287,674	2,287,674	5,865,534	3,692,510	539,755

**SHIRE OF COOLGARDIE
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2026**

14 BUDGET AMENDMENTS

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL/Job Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Balance
			\$	\$	\$	\$
Budget adoption						
						0
		2024/25 Audited Closing Deficit			(2,285,887)	(2,285,887)
093100	#231/2025	Bluebush Village Camp Rental Income		2,500,000		214,113
120775	#231/2025	Airport Landing Fees			(300,000)	(85,887)
100185	#231/2025	Coolgardie Waste - Contaminated			(400,000)	(485,887)
100186	#231/2025	Coolgardie Waste - Class 2			(100,000)	(585,887)
100187	#231/2025	Coolgardie Waste - Class 3		200,000		(385,887)
030278	#231/2025	Interest on Investments		100,000		(285,887)
E0401	#231/2025	Executive Services - Members of Council		350,000		64,113
E0402	#231/2025	Finance/Administration and Associated Costs		150,000		214,113
A1405	#231/2025	Occupational Health & Safety		60,000		274,113
A0431	#231/2025	Training And Conferences		20,000		294,113
A1402	#231/2025	Staff Training		20,000		314,113
093260	#231/2025	Accommodation Management			(1,250,000)	(935,887)
A1202	#231/2025	Kambalda Airport Operating			(75,000)	(1,010,887)
A1203	#231/2025	Baggage Handling Fees		175,000		(835,887)
A1204	#231/2025	Kambalda Aerodrome Runway Maintenance		250,000		(585,887)
A1002	#231/2025	Contract For Household Waste - General		60,000		(525,887)
C1013	#231/2025	Coolgardie Class Iii Operating Costs		30,000		(495,887)
T1013	#231/2025	Coolgardie Refuse Site Maintenance		60,000		(435,887)
030183	#231/2025	Debit - Rates Written-Off			(555,807)	(991,694)
				3,975,000	(4,966,694)	(991,694)

Shire of Coolgardie

Matters Identified for the period ended 31 January 2026

Topic	Matter Raised	Date Identified	Date Reviewed	Explanation	Action Required	Priority	Management Comment	Status
Going Concern	Surplus / (Deficit) Position	Jan-25	Dec-25	The Shire reported a Surplus position of \$9,281,180 at 31 January 2026 (Dec-25: \$9,623,075 Surplus).	Management to continually monitor the current position to identify and potential financial risks and to ensure the long term financial sustainability of the organisation	HIGH	As a comparative there was a surplus position of \$1,176,529 at 31 January 2025. This represents a \$8,104,651 favourable variance to the same reporting period 12 months prior.	Ongoing
Going Concern	Net current liability	Jan-25	Dec-25	The Shire reported a net current asset position of \$8,591,774 at 31 January 2026 (Dec-25: \$8,921,328 Surplus).	Management to continually monitor the current position to ensure all short term commitments can be met.	HIGH	As a comparative the net liability at 31 January 2025 of (\$1,759,865) resulting in a \$10,351,639 favourable variance to the same reporting period 12 months prior.	Ongoing
Going Concern	Cash Position	Jan-25	Dec-25	For the period ended 31 January 2026 the Shire's cash & cash equivalent position is \$13,028,784 (Dec-25: \$12,545,715). Trade Receivables are \$3,501,674 (Dec-25: \$4,254,046 while Trade Payables are \$2,523,256 (Dec-25: \$2,196,725).	Rates & Trade Receivables need to be reviewed to assess the likelihood of outstanding balances being received.	HIGH	As a comparative the cash position at 31 January 2025 was \$1,106,464 resulting in a \$11,922,320 favourable difference to the reporting period 12 months prior.	Ongoing
Subsidiary Ledgers	Capital Grants & Subsidies Liability	Jan-25	Dec-25	There is currently a balance of \$2,297,674 (Dec-25: \$2,524,075) in Capital Grants & Contract Liabilities.	Management to carefully monitor the current position to ensure all short term commitments can be met.	HIGH	Completion of funded projects have been included in the 2025/26 Draft Budget. Road projects commenced in Q3 of the 25/26 financial year and once obligations have been met the revenue will be recognised.	In Progress
Liabilities	Trade Payables	Jan-25	Nov-25	Sundry Creditors are \$1,906,495 (Dec-25: \$1,611,107) at 31 January 2026. \$295,0419 or 15% of these creditors have been outstanding for 90+ days.	Management need to manage short term cash flow to allow payment of creditors to maintain good working relationships current suppliers.	MEDIUM	The amount sitting in 90+ days relates to a longstanding dispute which is hoped to be resolved soon.	In Progress
Current Assets	Inventories	Jan-25	Dec-25	Road base stockpile worth \$148,724 purchased in August & September 2024 needs to be reconciled during the month when/if allocated to various works programs.	Management need to ensure measures are in place to accurately track stock movements during the month.	MEDIUM	Road base will be allocated to road projects in the coming months.	In Progress

**Bluebush Village
Business Unit Reporting for the period ended 31 January 2026**

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	5,599,146	6,911,189	1,312,043
Other Revenue	0	0	0
	<u>5,599,146</u>	<u>6,911,189</u>	<u>1,312,043</u>
Expenditure			
Operational Costs	(3,515,705)	(3,911,995)	(396,290)
Depreciation	(1,353,759)	0	1,353,759
Interest Expenses	(733,744)	(562,644)	171,100
Other	(31,500)	(302)	31,198
	<u>(5,634,708)</u>	<u>(4,474,942)</u>	<u>1,159,766</u>
Non cash amounts excluded from operating activities	1,353,759	0	(1,353,759)
Amount attributable to operating activities	1,318,197	2,436,247	1,118,050
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	(676,219)	(676,219)	0
Amount attributable to financing activities	(676,219)	(676,219)	0
Surplus / (Deficit)	641,978	1,760,028	1,118,051

GRAPHICAL INFORMATION

Operating Revenue



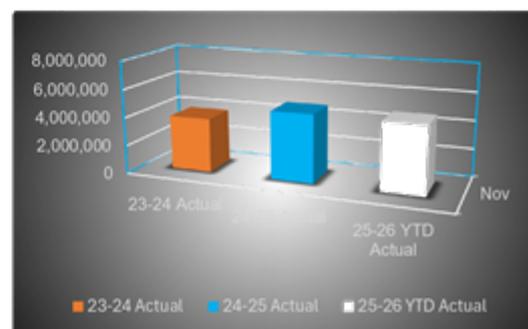
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



**Waste Facilities
Business Unit Reporting for the period ended 31 January 2026**

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	828,292	870,440	42,148
Other Revenue	0	108	108
	<u>828,292</u>	<u>870,548</u>	<u>42,256</u>
Expenditure			
Operational Costs	(504,087)	(411,597)	92,490
Depreciation	(369,183)	(528,816)	(159,633)
Interest Expenses	(65,840)	(47,102)	18,738
Other	(19,002)	(23,889)	(4,888)
	<u>(958,111)</u>	<u>(1,011,404)</u>	<u>(53,292)</u>
Non cash amounts excluded from operating activities	369,183	528,816	159,633
Amount attributable to operating activities	239,364	387,961	148,597
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	0	0	0
Amount attributable to financing activities	0	0	0
Surplus / (Deficit)	239,364	387,961	148,597

GRAPHICAL INFORMATION

Operating Revenue



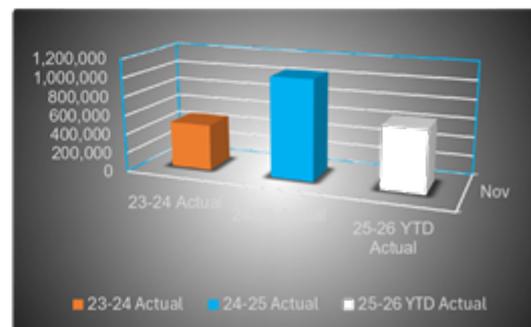
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



**Kambalda Aerodrome
Business Unit Reporting for the period ended 31 January 2026**

	YTD Budget	YTD Actual	Variance
Revenue			
Fees & Charges	982,900	896,491	(86,409)
Other Revenue	0	0	0
	<u>982,900</u>	<u>896,491</u>	<u>(86,409)</u>
Expenditure			
Operational Costs	(640,133)	(599,321)	40,811
Depreciation	0	0	0
Interest Expenses	(19,755)	(14,165)	5,590
Other	0	0	0
	<u>(659,888)</u>	<u>(613,487)</u>	<u>46,401</u>
Non cash amounts excluded from operating activities	0	0	0
Amount attributable to operating activities	323,012	283,005	(40,008)
Financing activities			
Proceeds from borrowings	0	0	0
Loan principal repayments	0	0	0
Lease principal repayments	0	0	0
Amount attributable to financing activities	0	0	0
Surplus / (Deficit)	323,012	283,005	(40,008)

GRAPHICAL INFORMATION

Operating Revenue



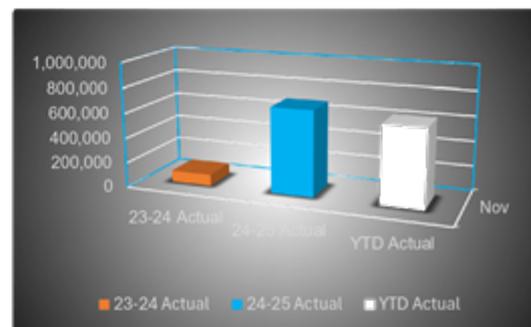
Operating Expenditure



Surplus / Deficit (Excludes Depreciation)



Revenue - 3 Year Comparative



11.3 Commercial Services

Nil

12 ELECTED MEMBERS MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

13 NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF MEETING**13.1 Elected Members**

Nil

13.2 Council Officers**13.2.1 MINUTES OF THE ORDINARY COUNCIL MEETING HELD ON 16 DECEMBER 2025****Date:** 24 February 2026**Author:** Kasey Turner, Executive Assistant**ATTACHMENTS**

Nil

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION

That the Minutes of the Ordinary Council Meeting held on 16 December 2025 be confirmed as a true and accurate record.

COUNCIL RESOLUTION #25/2026**Moved:** Cr Julie-Ann Williams**Seconded:** Cr Anthony Ball

That the Minutes of the Ordinary Council Meeting held on 16 December 2025 be confirmed as a true and accurate record.

In Favour: Crs Paul Wilcox, Anthony Ball, Tracey Rathbone, Tammee Keast, Daphne Simmons and Julie-Ann Williams

Against: Nil

CARRIED 6/0**14 MATTERS BEHIND CLOSED DOORS**

Nil

15 CLOSURE OF MEETING

The Meeting closed at 7.38pm.